



*Land of Cheese, Trees and Ocean Breeze*

**RIPARIAN EXCEPTION #851-25-000087-PLNG:  
SPATH/SELBY**

*NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:  
ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,  
IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER*

March 20, 2025

Dear Property Owner:

This is to confirm that the Tillamook County Department of Community Development **APPROVED WITH CONDITIONS** the above-cited Riparian Exception Request on March 20, 2025.

A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection on the Tillamook County Department of Community Development website: <https://www.tillamookcounty.gov/commdev/landuseapps> and is also available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141.

**Appeal of this decision.** This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. Forms and fees must be filed in the office of this Department in accordance with Article 10 of the TCLUO before **4:00 PM** on April 1, 2025. Unless appealed, the Effective Date of Decision shall be March 20, 2025.

**Request:** An exception request to reduce the required 50-foot riparian setback from the Nestucca River by 30-feet and establish a 20-foot riparian setback to allow for the construction of a residential structure (single-family dwelling).

**Location:** The subject property is accessed from Airport Way, a County local access road, and is designated as Tax Lot 6000, of Section 30BD of Township 4 South, Range 10 West of the Willamette Meridian, Tillamook County, Oregon.

**Zone:** Pacific City/Woods Medium Density Residential (PCW-R2)

**Applicant:** Ian Spath, 34635 Hill Street, Pacific City, OR 97135

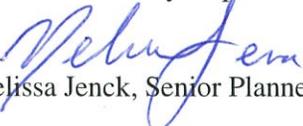
**Property Owner:** Howard & Mary Selby, 8714 NW Lakeshore Ave, Vancouver, WA 98665

**CONDITIONS OF APPROVAL:**

Failure to comply with the Conditions of Approval and ordinance provisions could result in nullification of this approval.

1. The applicant/property owner shall obtain all Federal, State, and Local permits, as applicable.
2. The applicant/property owner shall obtain an approved consolidated Building/Zoning Permit from the Tillamook County Department of Community Development prior to siting the proposed dwelling.
3. A minimum 20-foot riparian setback from the Nestucca River, determined by the Oregon Department of Fish and Wildlife (ODFW) and measured in accordance with TCLUO Section 4.140, shall be maintained on the subject property.
4. The applicant/property owner shall submit a site plan, drawn to scale and indicating all required yard setbacks and reduced riparian setbacks, at the time of consolidated Building/Zoning Permit application submittal.
5. Development shall otherwise comply with the applicable standards and requirements of TCLUO Section 3.332: Pacific City/Woods Medium Density Residential (PCW-R2) Zone.
6. Development shall otherwise comply with the applicable standards and requirements of TCLUO Section 4.140: Requirements for Protection of Water Quality and Streambank Stabilization.
7. This approval expires if a Building Permit is not applied for within two (2) years of issuance of this approval.

Sincerely,  
Tillamook County Department of Community Development

  
Melissa Jenck, Senior Planner

Sarah Absher, CFM, Director  
Enc.: Vicinity & Assessor/Zoning Map



*Land of Cheese, Trees and Ocean Breeze*

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**Resource Zone Exception #851-25-000087-PLNG: SPATH/SELBY  
Administrative Decision & Staff Report**

**Decision:** Approved with Conditions  
**Decision Date:** **March 20, 2025**  
**Report Prepared By:** **Melissa Jenck, CFM, Senior Planner**

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**I. GENERAL INFORMATION:**

**Request:** An exception request to reduce the required 50-foot riparian setback from the Nestucca River by 30-feet and establish a 20-foot riparian setback to allow for the construction of a residential structure (single-family dwelling).

**Location:** The subject property is accessed from Airport Way, a County local access road, and is designated as Tax Lot 6000, of Section 30BD of Township 4 South, Range 10 West of the Willamette Meridian, Tillamook County, Oregon.

**Zone:** Pacific City/Woods Medium Density Residential (PCW-R2)

**Applicant:** Ian Spath, 34635 Hill Street, Pacific City, OR 97135

**Property Owner:** Howard & Mary Selby, 8714 NW Lakeshore Ave, Vancouver, WA 98665

**Description of Site and Vicinity:** The subject property encompasses 0.24 acres, is currently improved with an existing single-family dwelling, abuts the Nestucca River to the southwest, and is accessed via Airport Way, a local access road, to the northwest (Exhibit A). The topography at the location is fairly flat with a slope change as the property approaches the Nestucca River according to County LIDAR data (Exhibits A and B). The Nestucca River is zoned Estuary Conservation 1 (EC1) up to the more landward of Mean Higher High Water or the Line of Non-Aquatic Vegetation (Exhibit A). No wetlands or geologic hazards are mapped on the subject property within the proposed development (Exhibit B). As indicated on FEMA FIRM 41057C0855F dated September 28, 2018, the subject property is located entirely in an 'AE' Area of Special Flood Hazard and entirely in the Floodway of the Nestucca River (Exhibit A).

The area is a pocket of PCW-R2 zoned properties abut Nestucca river and are generally improved with single-family dwellings and their accessory structures. Properties zoned Pacific City/Woods Low Density

Residential are located to the northeast, and Pacific City/Woods Community Commercial to the northwest (Exhibit A).

Applicant is proposing to reduce the required 50-foot riparian setback from the Nestucca River riparian area boundary by 30-feet and establish a 20-foot riparian setback, for the replacement of a dwelling burned due to a fire (Exhibit B).

## II. APPLICABLE ORDINANCE AND COMPREHENSIVE PLAN PROVISIONS:

The desired use is governed through the following sections of the Tillamook County Land Use Ordinance (TCLUO). The suitability of the proposed use, in light of these criteria, is discussed in Section III of this report:

- A. TCLUO Section 3.332: Pacific City/Woods Medium Density Residential (PCW-R2) Zone
- B. TCLUO Section 4.140: Requirements for Protection of Water Quality and Streambank Stabilization

## III. ANALYSIS:

Notice of the request was mailed to property owners within 250 feet of the subject property and other agencies on February 27, 2025. Comments were received from Oregon Department of Fish and Wildlife (ODFW) (Exhibit C).

ODFW states they do not object to the reduce setback proposed at this location (Exhibit C).

Analysis of the request in relation to the criteria that are the basis for the decision to grant or deny an exception request, including the requirement for a riparian habitat value assessment by Oregon Department of Fish and Wildlife (ODFW), are discussed in Section B below. ODFW provided comments stating they do not object to the proposal, and included their previous findings identifying the location of the prior dwelling relative to the riparian area (Exhibit C).

### A. **Section 3.332: Pacific City/Woods Medium Density Residential (PCW-R2) Zone**

**Section 3.332(4) Standards:** *Land divisions and development in the PCW-R2 zone shall conform to the following standards, unless more restrictive supplemental regulations apply:*

...

*(d) The minimum front yard shall be 20 feet.*

*(e) The minimum side yard shall be 5 feet; on the street side of a corner lot, it shall be 15 feet.*

*(f) The minimum rear yard shall be 20 feet; on a corner lot it shall be 5 feet.*

**Findings:** The subject property is 0.24-acres in size and is currently improved with a residence which was burned due to a nearby fire (Exhibit A & B). The proposed development of a single-family dwelling is proposed on PCW-R2 zoned property, to replace the previously fire damaged dwelling (Exhibit B). The applicant has proposed a 20-ft front yard setback, with a 8.33-ft side yard along the east boundary, exceed the 5-ft side on the west boundary, and approximately 20-ft side yard along the rear, riverward boundary (Exhibit B). Applicant site plan demonstrates (2) 8-ft by 20-ft parking spaces can be accommodated on-site, off-street (Exhibit B).

Staff find these standards can be met through compliance with Conditions of Approval.

## **B. TCLUO Section 4.140: Requirements for Protection of Water Quality and Streambank Stabilization**

TCLUO Section 4.140 identifies as areas of riparian vegetation that area within 50-feet of rivers, as measured from the more landward of the line of non-aquatic vegetation or the mean high-water line. TCLUO Section 4.140 also limits removal of vegetation and development within those areas of riparian vegetation.

TCLUO 4.140(2) requires all development to be located outside of riparian areas with some exceptions. Exceptions include the following:

...

*(c) Because of natural features such as topography, a narrower riparian area protects equivalent habitat values; or*

*(d) A minimal amount of riparian vegetation is present and dense development in the general vicinity significantly degrades riparian habitat values.*

TCLUO 4.140(2) also provides for an Exception process for certain types of development based on a determination to be made by ODFW that a narrower riparian area provides equivalent protection value or minimal vegetation is present and existing development degrades riparian values.

Applicant's Site Plan anticipates that the closest point of the proposed development of a dwelling will be 20-ft from the line of non-aquatic vegetation (Exhibit B).

Comments from Robert Bradley, ODFW, stated a minimum 20ft setback should be maintained from the riparian boundary and they do not object to the proposal (Exhibit B & C).

Staff find that the determination by Mr. Bradley meets the criterion of TCLUO Section 4.140(2)(d). Staff finds that an exception to allow the reduction of the riparian setback from 50-ft to 20-ft can be granted subject to Conditions of Approval requiring that the applicant/property owner to adhere to the recommendations stated by ODFW.

## **IV. DECISION: APPROVED WITH CONDITIONS**

Staff concludes that the applicant has satisfied the review criteria and can meet all applicable ordinance requirements at the time of application. Therefore, Staff approves this request for an exception to the riparian setback subject to the Conditions of Approval in Section V of this report. This approval does not address any additional development of the subject property.

By accepting this approval the applicant and property owner agrees to indemnify, defend, save and hold harmless Tillamook County, and its officers, agents, and employees from any claim, suit, action or activity undertaken under this approval, including construction under a Building Permit approved subject to this approval. The applicant /property owner shall obtain all of the necessary local, state, and federal permits and comply with all applicable regulations for the proposed construction.

**Appeal of this decision.** This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. In such cases, forms and fees must be filed in the office of this Department before **4:00 PM on April 1, 2025.**

## **V. CONDITIONS OF APPROVAL:**

Failure to comply with the Conditions of Approval and ordinance provisions could result in nullification of this approval.

1. The applicant/property owner shall obtain all Federal, State, and Local permits, as applicable.
2. The applicant/property owner shall obtain an approved consolidated Building/Zoning Permit from the Tillamook County Department of Community Development prior to siting the proposed dwelling.
3. A minimum 20-foot riparian setback from the Nestucca River, determined by the Oregon Department of Fish and Wildlife (ODFW) and measured in accordance with TCLUO Section 4.140, shall be maintained on the subject property.
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6. Development shall otherwise comply with the applicable standards and requirements of TCLUO Section 4.140: Requirements for Protection of Water Quality and Streambank Stabilization.
7. This approval expires if a Building Permit is not applied for within two (2) years of issuance of this approval.

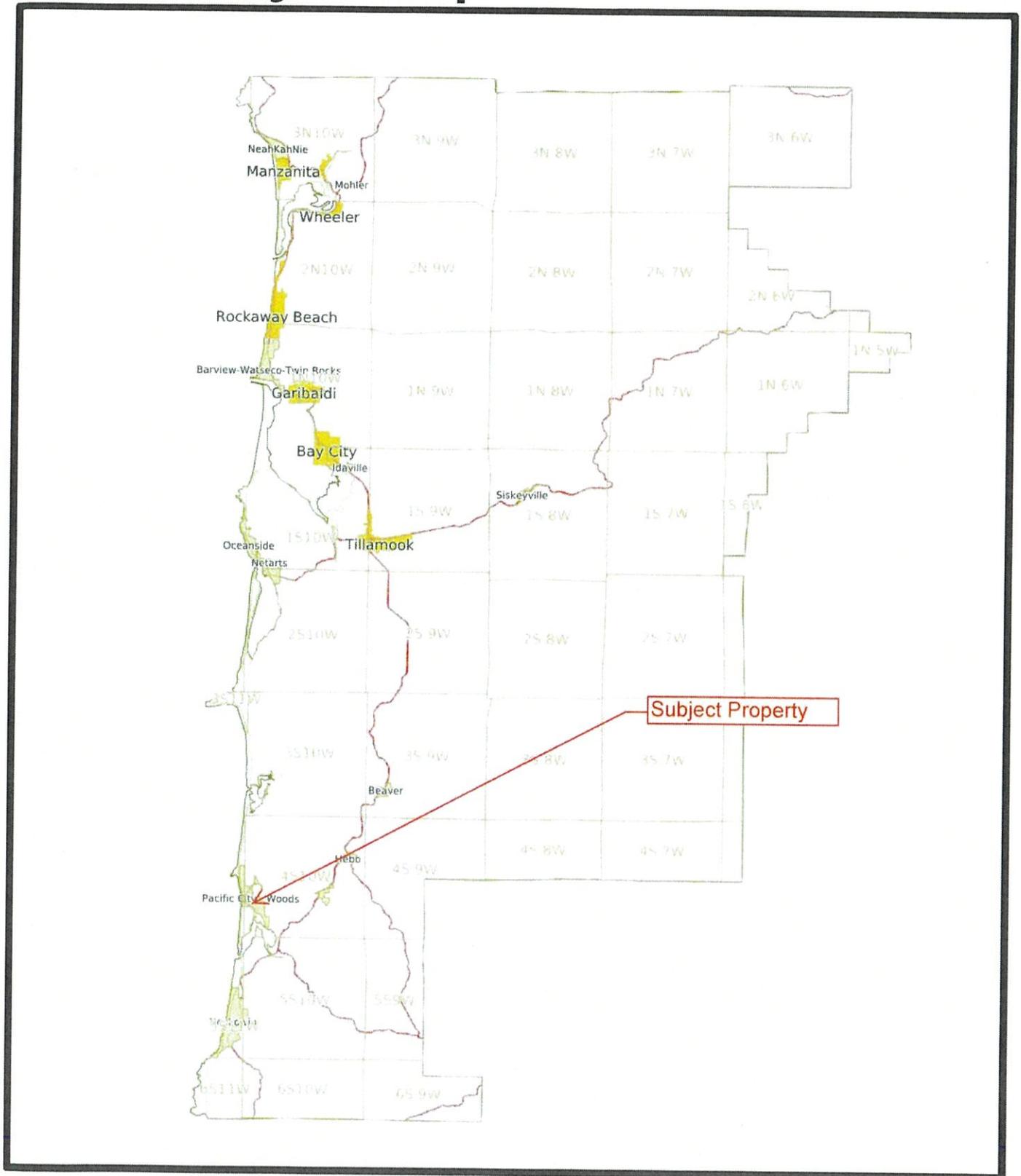
**VI. EXHIBITS**

All Exhibits referenced herein are, by this reference, made a part hereof:

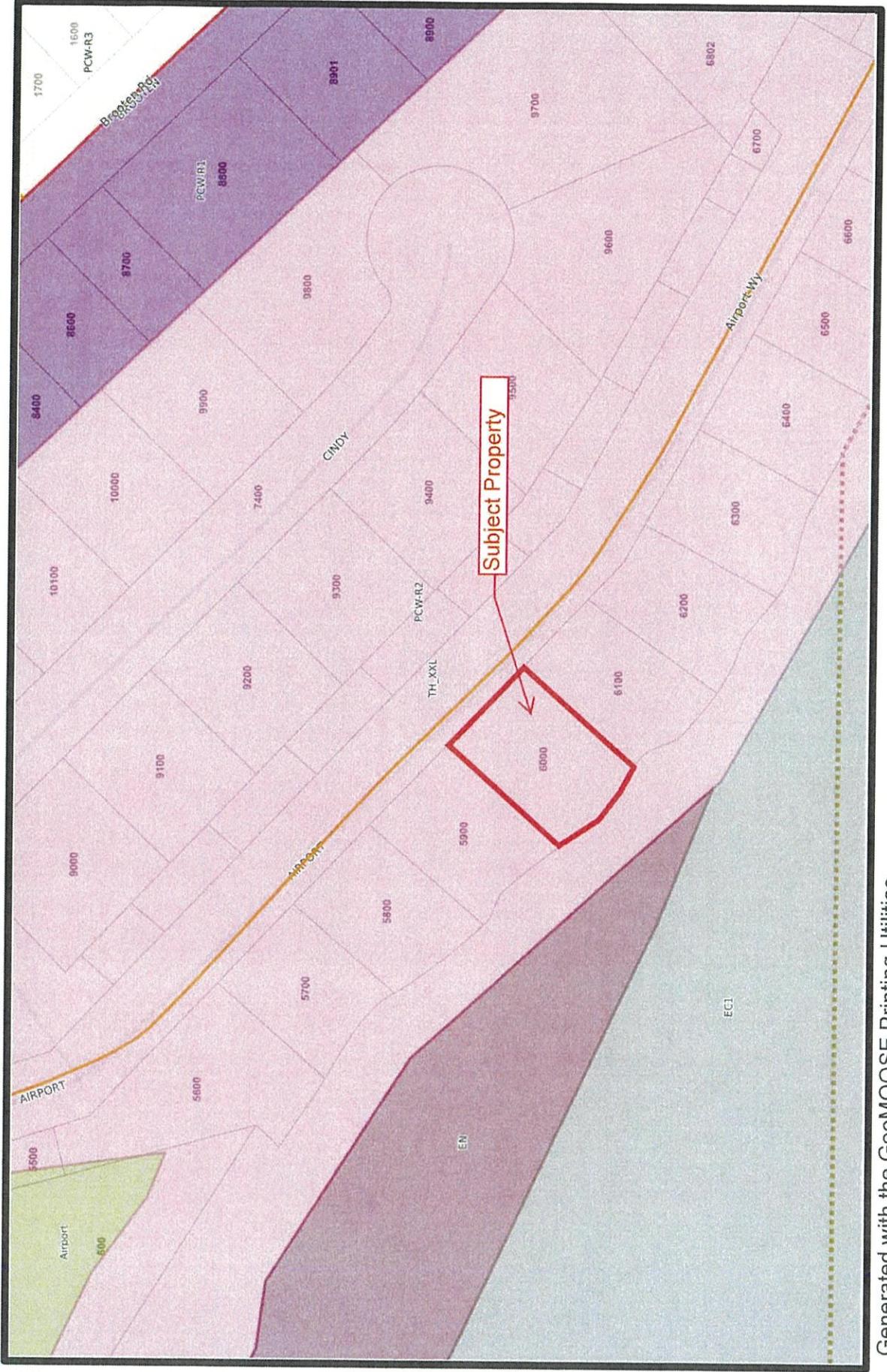
- A. Vicinity map, Assessor map, Zoning map, Assessor's Summary Report
- B. Applicant's submittal
- C. Public Comments

# EXHIBIT A

# Vicinity Map



# Zoning Map



04S10W30BD  
PACIFIC CITY

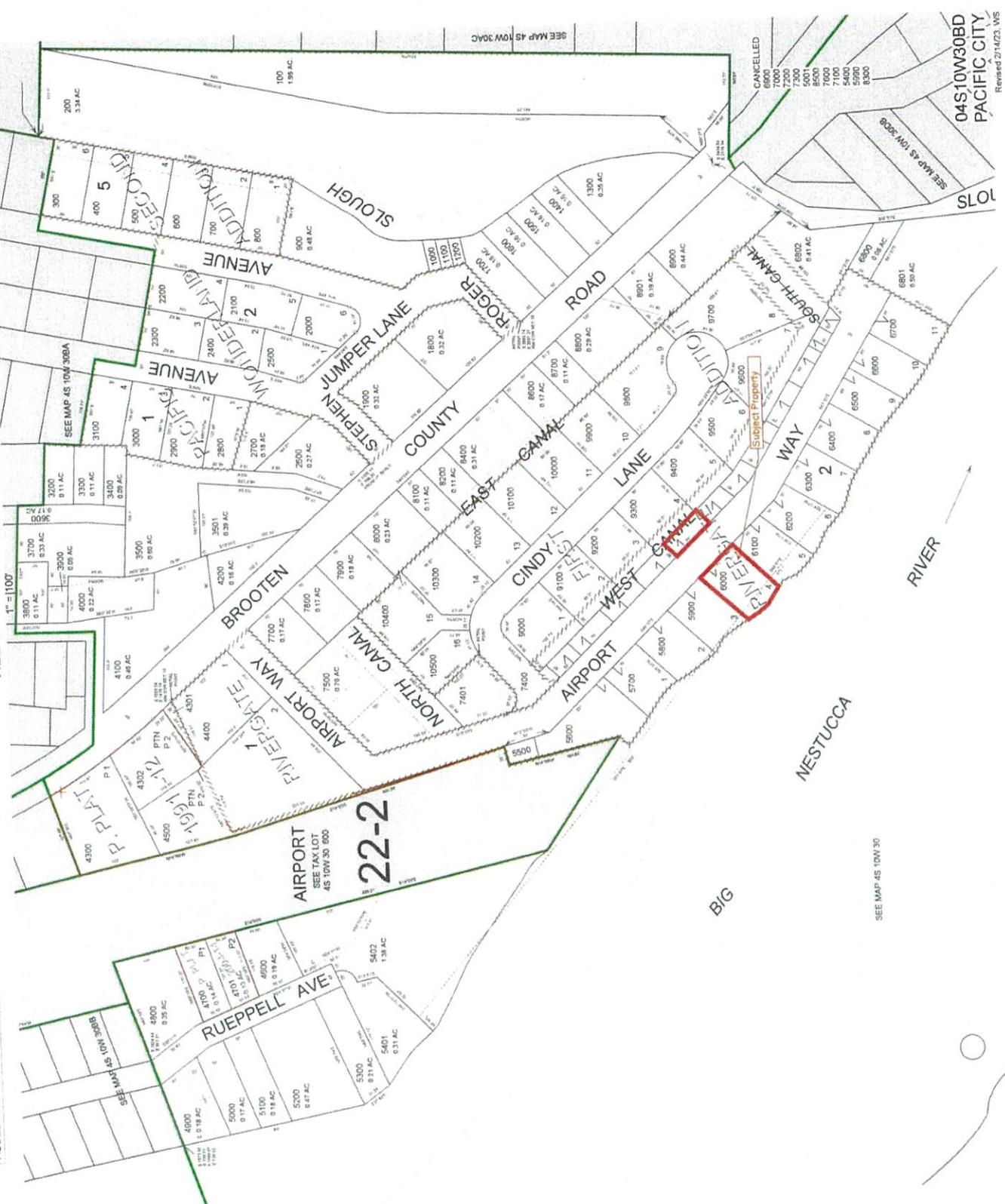
S.E. 1/4 N.W. 1/4 SEC. 30 T.4S. R.10W. W.M.

TILLAMOOK COUNTY

THIS MAP WAS PREPARED FOR  
ASSESSMENT PURPOSE ONLY



1" = 100'



AIRPORT  
SEE TAX LOT  
45 10W 30 000  
**22-2**

Subject Property

CANCELLED

SEE MAP 45 10W 30

04S10W30BD  
PACIFIC CITY  
Revised 2/14/23, WS

**Tillamook County**  
**2024 Real Property Assessment Report**  
 Account 240812

Map 4S1030BD06000  
 Code - Tax ID 2202 - 240812

Tax Status Assessable  
 Account Status Active  
 Subtype NORMAL

Legal Descr RIVERGATE  
 Block - 2 Lot - 4  
 Mailing SELBY, HOWARD P & MARY D  
 8714 NW LAKESHORE AVE  
 VANCOUVER WA 98665

Deed Reference # 2021-7419  
 Sales Date/Price 08-31-2021 / \$726,000  
 Appraiser LORRIE MCKIBBIN

Property Class 101 MA SA NH  
 RMV Class 101 09 WF 903

Site	Situs Address	City
1	35670 AIRPORT WAY	COUNTY

Code Area		Value Summary				
		RMV	MAV	AV	RMV Exception	CPR %
2202	Land	217,700		Land	0	
	Impr	56,660		Impr	0	
<b>Code Area Total</b>		274,360	112,350	112,350	0	
<b>Grand Total</b>		274,360	112,350	112,350	0	

Land Breakdown									
Code Area	ID #	RFPD	Ex	Plan Zone	Value Source	Trend %	Size	Land Class	Trended RMV
2202					LANDSCAPE - FAIR	100			500
	1	<input checked="" type="checkbox"/>		PCW-R2	Market	117	0.24 AC		187,200
					OSD - AVERAGE	100			30,000
<b>Code Area Total</b>							0.24 AC		217,700

Improvement Breakdown								
Code Area	ID #	Year Built	Stat Class	Description	Trend %	Total Sqft	Ex% MS Acct	Trended RMV
2202	1	1992	154	One and 1/2 story w/basement	122	1,476		56,660
<b>Code Area Total</b>						1,476		56,660

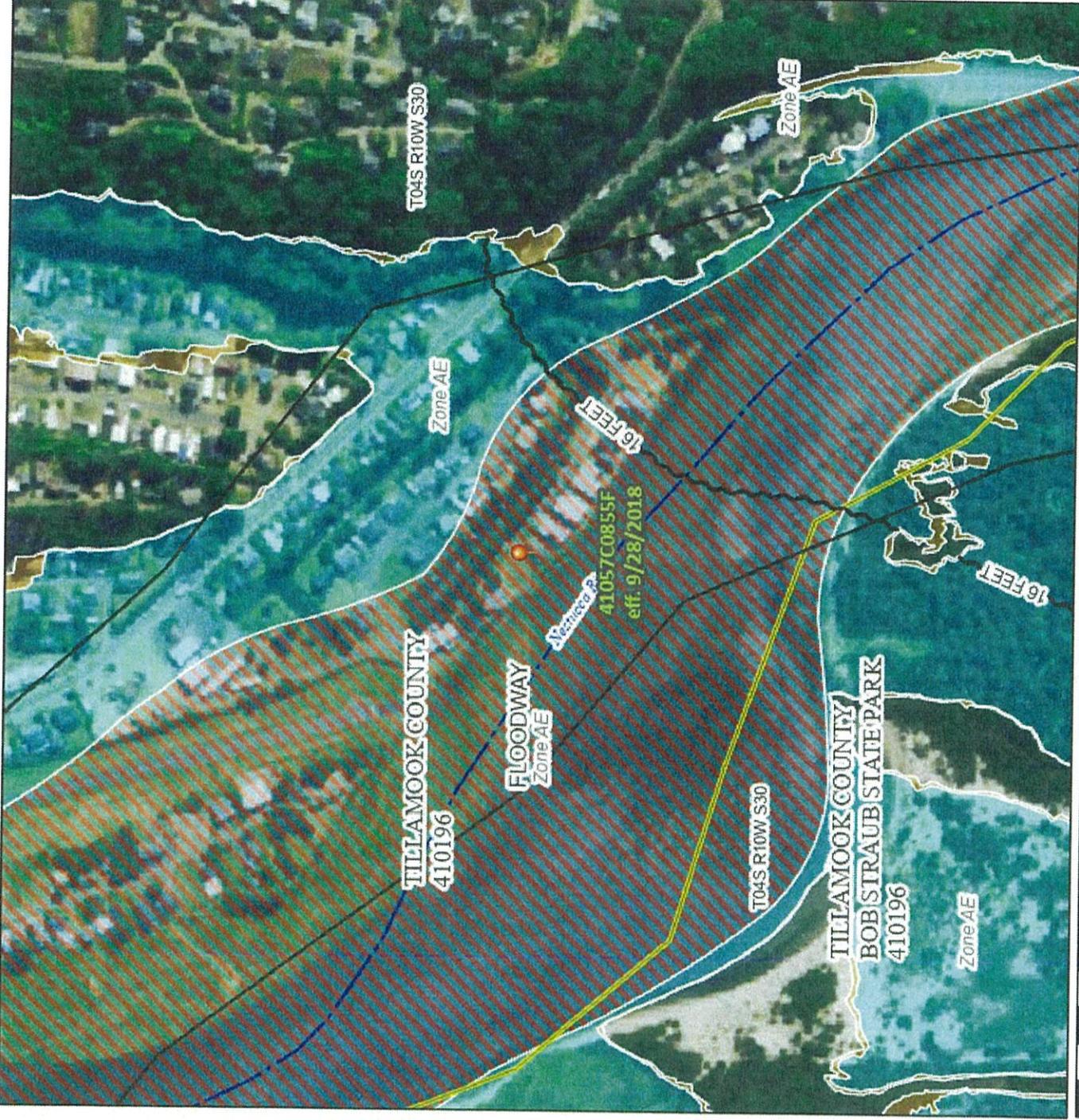
Exemptions / Special Assessments / Notations
<b>Notations</b>
<ul style="list-style-type: none"> <li>▪ ACT OF GOD PRORATED 308.425 ADDED 2023</li> <li>▪ ACT OF GOD RMV &amp; MAV ADJUSTED 308.146 ADDED 2024</li> <li>▪ DESTROYED OR DAMAGED PROPERTY, JULY 1 ASMT DATE 308.146(6) ADDED 2024</li> </ul>

**Comments** 10/19/06 input inventory. gb 12/6/06 Added acreage. dv 01/29/14 Reappraised land; tabled values. RBB 7/8/24 Owner applied for July 1 reassessment. Severe fire damage occurred due to neighboring fire. Left 10% interim use until tear down is complete, adjusted RMV and MAV. Proration processed for 2023-24 tax year. LM

# National Flood Hazard Layer FIRMette



123°57'53"W 45°11'58"N



123°57'15"W 45°11'32"N

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

<b>SPECIAL FLOOD HAZARD AREAS</b>	Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>	Area of Minimal Flood Hazard <i>Zone X</i>
	With BFE or Depth <i>Zone AE, AO, AH, AE, AR</i>	Effective LOMFRs
	Regulatory Floodway	Area of Undetermined Flood Hazard <i>Zone</i>
	0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>	Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall
	Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>	Cross Sections with 1% Annual Chance Water Surface Elevation
<b>OTHER AREAS OF FLOOD HAZARD</b>	Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>	Coastal Transect
	Area with Flood Risk due to Levee <i>Zone D</i>	Base Flood Elevation Line (BFE)
		Limit of Study
<b>OTHER AREAS</b>		Jurisdiction Boundary
		Coastal Transect Baseline
<b>GENERAL STRUCTURES</b>		Profile Baseline
		Hydrographic Feature
<b>OTHER FEATURES</b>		Digital Data Available
		No Digital Data Available
		Unmapped

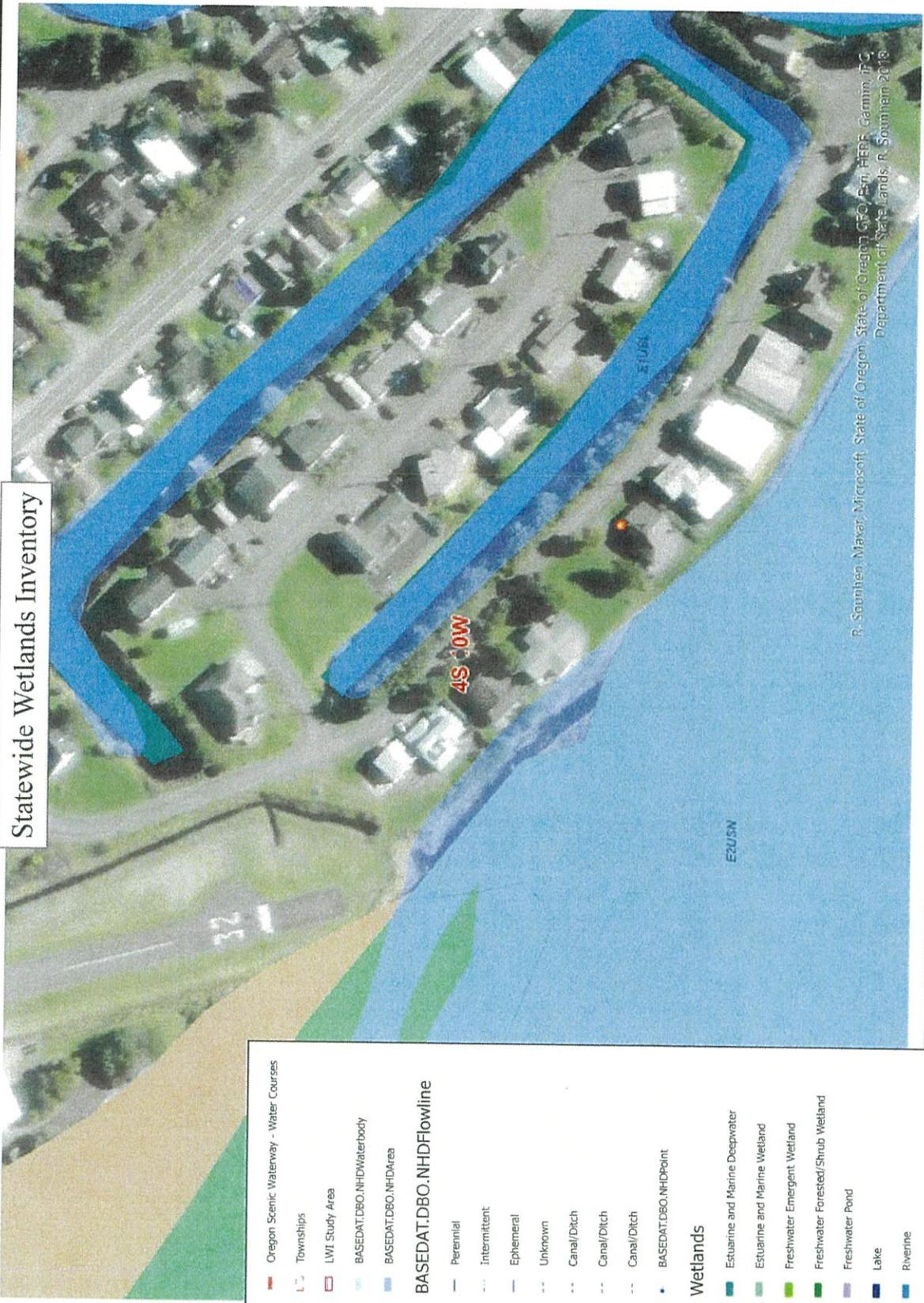
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 2/26/2025 at 7:41 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

# Statewide Wetlands Inventory



- Oregon Scenic Waterway - Water Courses
  - Townships
  - LWI Study Area
  - BASEDAT.DBO.NHDWaterbody
  - BASEDAT.DBO.NHDArea
  - BASEDAT.DBO.NHDFlowline
  - Perennial
  - Intermittent
  - Ephemeral
  - Unknown
  - Canal/Ditch
  - Canal/Ditch
  - Canal/Ditch
  - BASEDAT.DBO.NHDPPOINT
- ### Wetlands
- Estuarine and Marine Deepwater
  - Estuarine and Marine Wetland
  - Freshwater Emergent Wetland
  - Freshwater Forested/Shrub Wetland
  - Freshwater Pond
  - Lake
  - Riverine
  - SWI Agate-Wimlo Soils
  - SWI Predominantly Hydric Soil Map Units

Date: 2/26/2025

State of Oregon  
 Department of State Lands  
 775 Summer Street, NE, Ste 100  
 Salem, OR 97301-1279

1:2,257

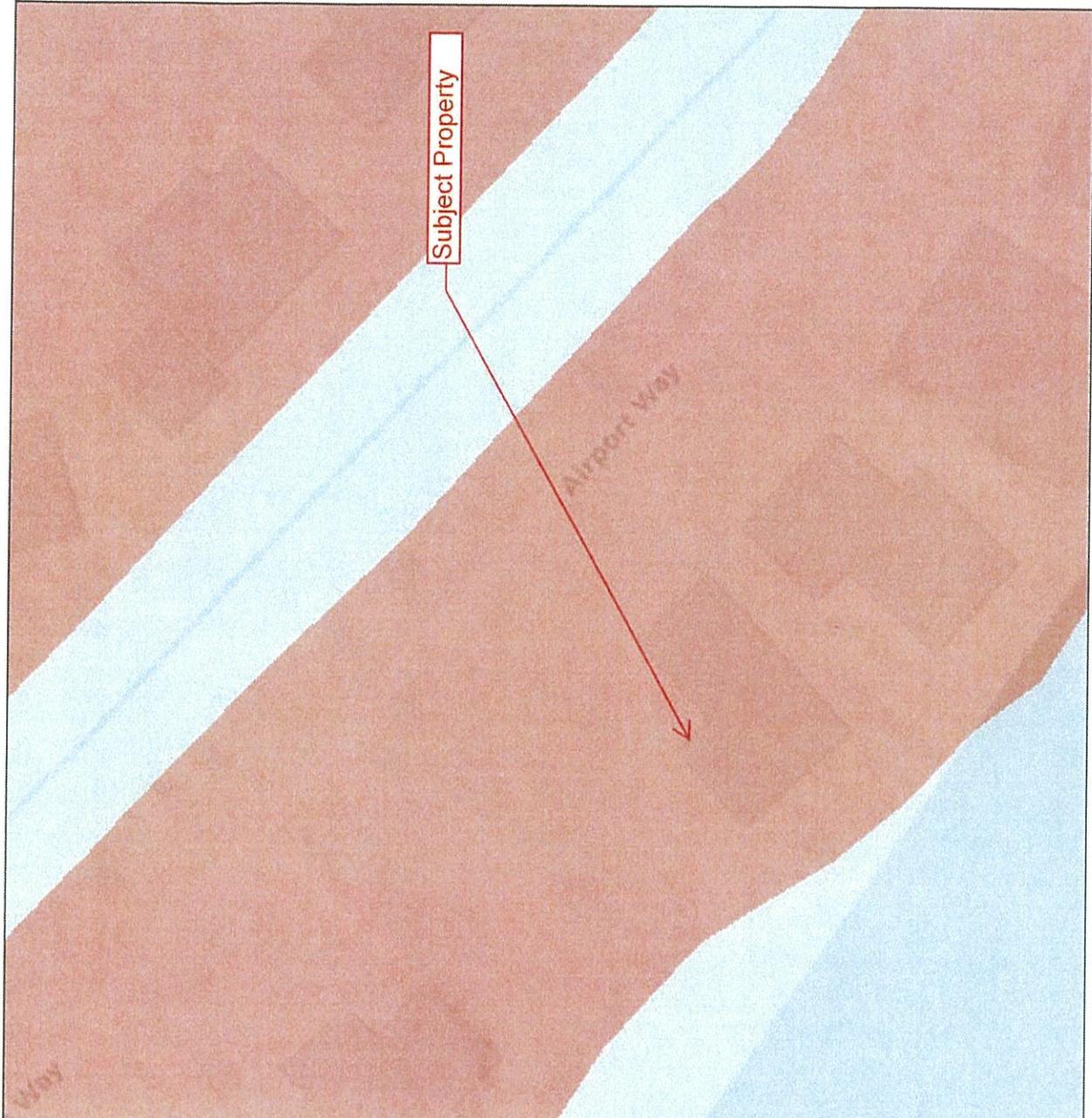
0 0.01 0.03 0.05 0.08 0.1

The Statewide Wetlands Inventory (SWI) represents the best data available at the time this map was published and is updated as new data becomes available. Users should consult the metadata for more information on the data sources, collection methods, and limitations. The SWI is not intended to be used for legal purposes. For more information, please contact the Department of State Lands. An aerial investigation by a wetland professional can verify actual field conditions.

# Hazard Map

## Beaches and Dunes Overlay Zone

- B - Beach
- FDA - Active foredune
- AFDA - Artificial dune
- FD (W) - Reactivated, erosion/flooding
- H - Hummocks, active
- FD - Stabilized foredune
- IFD - Inland foredune
- DC - Dune complex
- DC (W) - wet
- DS - Dune, younger stabilized
- ODS - Dune, older stabilized
- OS - Open sand
- W - Interdune
- WMF - Wet mountain front
- WDP - Wet deflation plain
- WL - Wetland
- WSP - Wet surge plain
- WFP - Wet flood plain
- LK - Lake
- CT - Coastal terrace
- LD - Landslide
- FED - Fluvial, estuary, deposit



# EXHIBIT B



Tillamook County Department of Community Development  
 1510-B Third Street, Tillamook, OR 97141 | Tel: 503-842-3408 Fax: 503-842-1819  
[www.co.tillamook.or.us](http://www.co.tillamook.or.us)

## PLANNING APPLICATION

Applicant  (Check Box if Same as Property Owner)

Name: Ian Smith Phone: 503 758 3124  
 Address: PO Box 1087  
 City: Pacific City State: OR Zip: 97135  
 Email: ian@pacificcityhomes.com

Property Owner

Name: Joe & Mary Selby Phone: \_\_\_\_\_  
 Address: 8714 NW Lakeshore Ave  
 City: Vancouver State: WA Zip: 98665  
 Email: \_\_\_\_\_

Request: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

OFFICE USE ONLY	
Date Stamp	<b>RECEIVED</b>
	<b>FEB 27 2025</b>
BY:	<u>mail</u>
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	
Received by:	<u>ms</u>
Receipt #:	
Fees:	<u>1300 + 51. tech</u>
Permit No:	<u>851-85-00087-PLNG</u>

### Type II

- Farm/Forest Review
- Conditional Use Review
- Variance
- Exception to Resource or Riparian Setback
- Nonconforming Review (Major or Minor)
- Development Permit Review for Estuary Development
- Non-farm dwelling in Farm Zone
- Fore-dune Grading Permit Review
- Neskowin Coastal Hazards Area

### Type III

- Detailed Hazard Report
- Conditional Use (As deemed by Director)
- Ordinance Amendment
- Map Amendment
- Goal Exception
- Nonconforming Review (As deemed by Director)
- Variance (As deemed by Director)

### Type IV

- Ordinance Amendment
- Large-Scale Zoning Map Amendment
- Plan and/or Code Text Amendment

Location:

Site Address: 35670 Airport Way  
 Map Number: 45 10 303D 0600  
Township Range Section Tax Lot(s)

Clerk's Instrument #: \_\_\_\_\_

### Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

Property Owner Signature (Required)

Applicant Signature

2-27-25  
Date

2/27/25  
Date

**From:** [BRADLEY Robert \\* ODFW](#)  
**To:** [Melissa Jenck](#)  
**Cc:** [ian@pacificcityhomes.com](mailto:ian@pacificcityhomes.com)  
**Subject:** EXTERNAL: 35670 Airport Way  
**Date:** Tuesday, June 18, 2024 12:43:44 PM

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[**NOTICE:** This message originated outside of Tillamook County -- **DO NOT CLICK** on links or open **attachments** unless you are sure the content is safe.]

Melissa,

I measured the estuary setback on this property in Pacific City today. I marked three different points for you. The approximate 50 foot setback line is shown on the attached photo (red). Also shown is the edge of the existing footprint (green) at about 24.5 feet, and for reference the minimum 20 foot setback line (blue). I would expect no additional biological impacts with construction within the existing footprint or to the minimum 20 foot setback, and this would fit within the character of the adjacent development.

Robert

Robert W. Bradley  
District Fish Biologist  
Oregon Department of Fish and Wildlife  
North Coast Watershed District  
4907 Third St  
Tillamook, OR 97141  
503-842-2741 x18613 (w)  
503-842-8385 (fax)



Airport Way

Airport Way

Airport Way

Airport Way

Airport Way

35650

35660

35670

35700

35720

35780



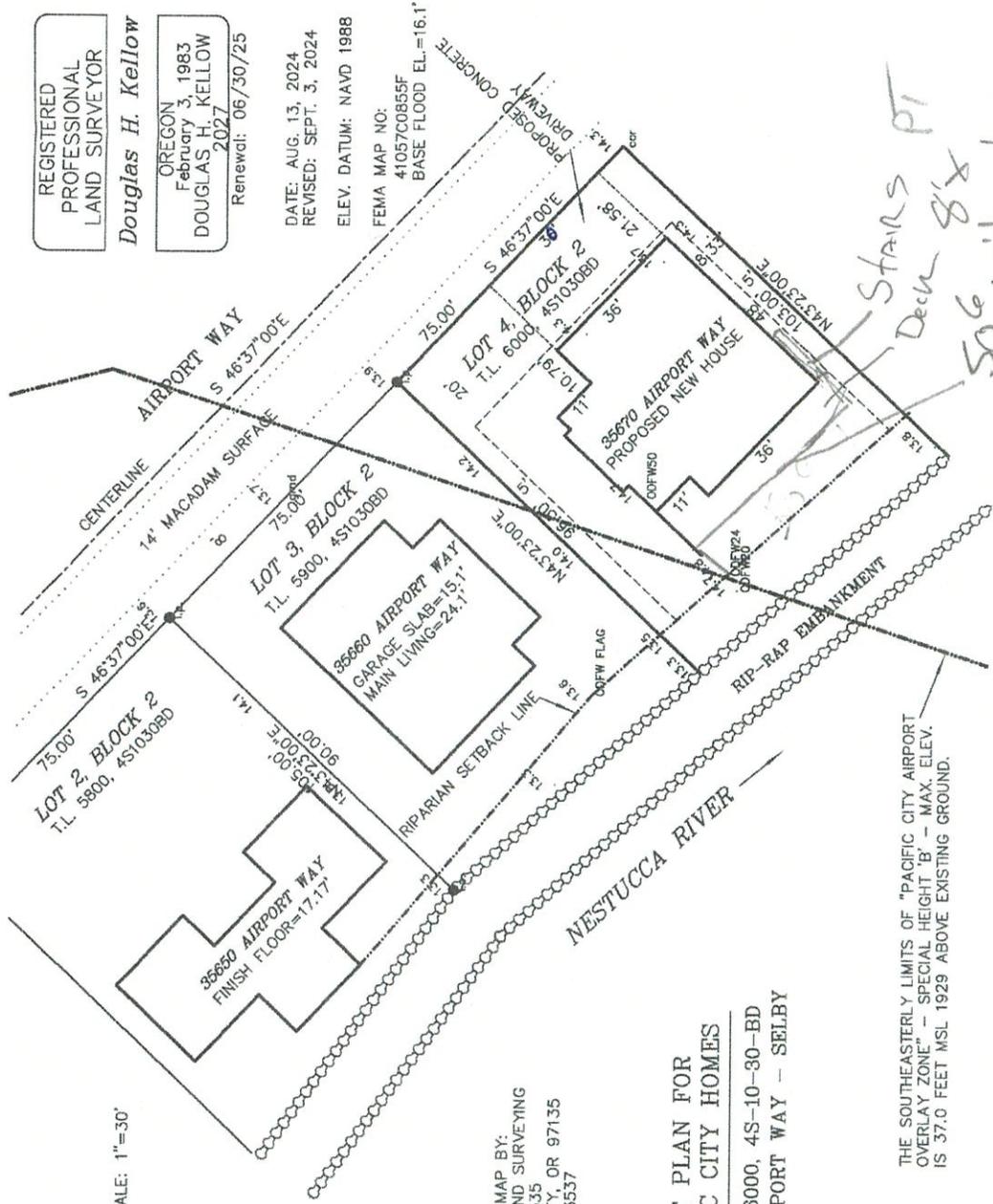
REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

Douglas H. Kellow

OREGON  
February 3, 1983  
DOUGLAS H. KELLOW  
2027  
Renewal: 06/30/25

DATE: AUG. 13, 2024  
REVISED: SEPT. 3, 2024  
ELEV. DATUM: NAVD 1988

FEMA MAP NO:  
41057C0855F  
BASE FLOOD EL.=16.1'



SCALE: 1"=30'



SURVEY & MAP BY:  
KELLOW LAND SURVEYING  
P.O. BOX 335  
PACIFIC CITY, OR 97135  
503-801-3537

PLOT PLAN FOR  
PACIFIC CITY HOMES  
TAX LOT 6000, 4S-10-30-BD  
35670 AIRPORT WAY - SELBY

THE SOUTHEASTERLY LIMITS OF "PACIFIC CITY AIRPORT  
OVERLAY ZONE" - SPECIAL HEIGHT 'B' - MAX. ELEV.  
IS 37.0 FEET MSL 1929 ABOVE EXISTING GROUND.

Stairs PT  
Deck 8'x  
50' wide deck

TILLAMOOK COUNTY  
Real Legal Descriptions

Selby

Account # 240812  
Map 4S1030BD 06000  
Effective Date 01-Sep-2001 12:00 AM

**Disclaimer** This information is maintained for assessment and taxation purposes only. The county is not responsible for possible errors, omissions, misuse, or misinterpretation. The legal description shown will not show any changes and/or modifications thereto subsequent to the EFFECTIVE DATE.

<u>Subdivision</u>	<u>Block</u>	<u>Lot</u>	<u>Direction</u>	<u>Part</u>	<u>Part Type</u>
RIVERGATE	2	4			

Legal Notes (09/01/2001 12:00:00 AM)  
NEW LEGAL DESCRIPTION



**The Design Department, Inc.**  
 1523 Boca Hatan Dr.  
 Lake Oswego, Oregon 97034  
 (503) 392-3796

**Custom Home Plan for:**  
 Mary & Joe Selby  
 Pacific City, Oregon

**Exterior Elevations**

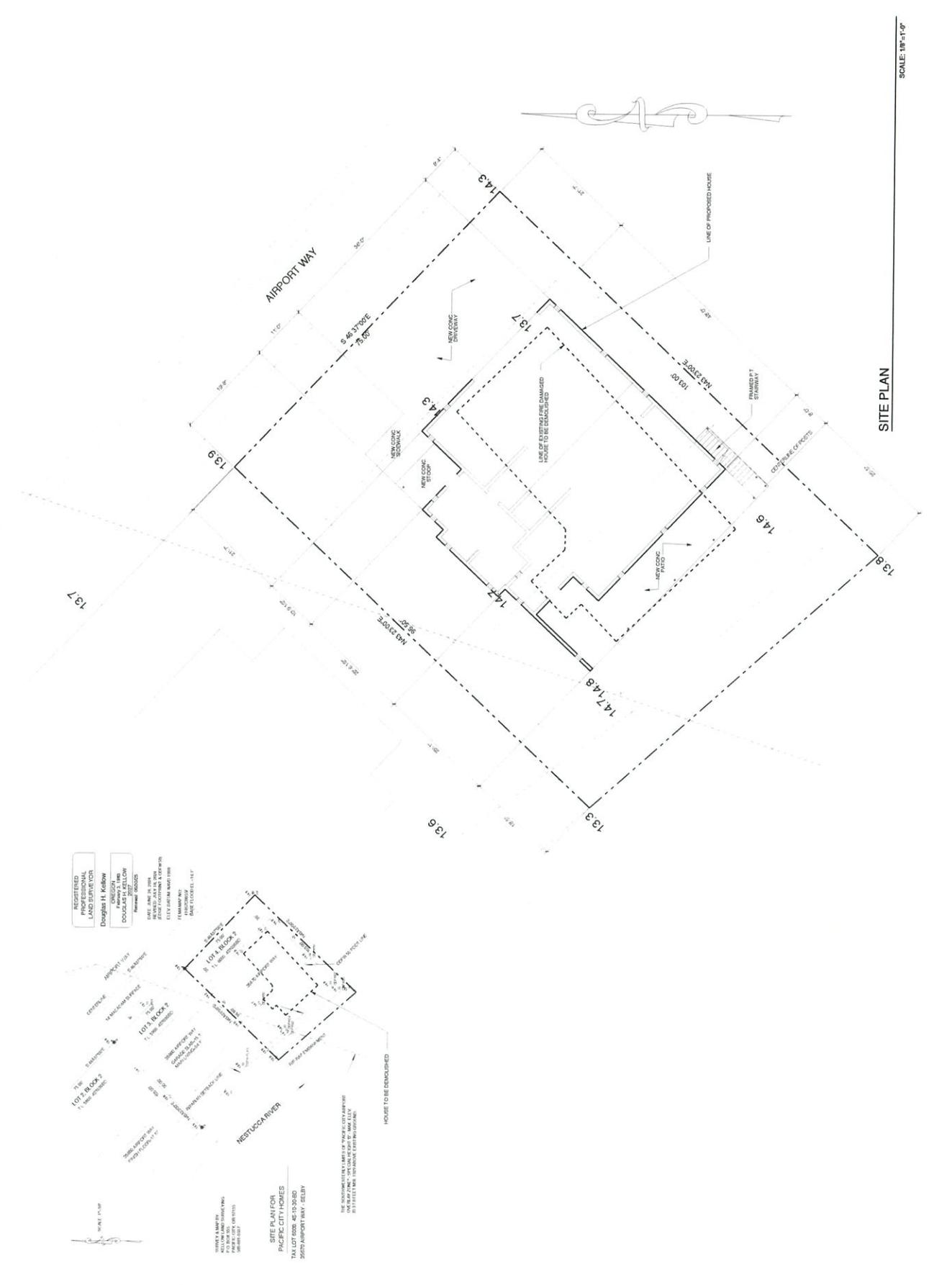
REVISIONS

07/29/24	
08/04/24	
08/08/24	
08/15/24	

DATE  
07/11/24

PROJECT NO.  
2124

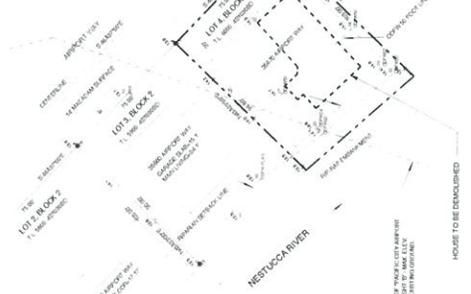
**SHEET**  
2



**SITE PLAN**

SCALE: 1/8"=1'-0"

REGISTERED PROFESSIONAL LAND SURVEYOR  
 Douglas H. Kellow  
 License No. 1100  
 COMMERCIAL DISTRICT  
 1523 BOCA HATAN DRIVE  
 LAKE OSWEGO, OREGON 97034  
 (503) 392-3796  
 FAX (503) 392-3797  
 www.dhksurvey.com



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DATE: 07/11/24

PROJECT NO.: 2124

SCALE: 1/8"=1'-0"

**SITE PLAN FOR**  
**PACIFIC CITY HOMES**  
 TAX LOT 0000, 40-10-30-80  
 38570 AIRPORT WAY - SELBY

NOTE: Dimensions on the drawing shall take precedence over written dimensions and conditions shown on drawings. Any such variations shall be resolved by the Owner prior to proceeding with the work of the contractor shall accept full responsibility for cost to rectify same.

The Owner must be notified on any variations from the Contract shall work in reasonable conditions, etc. pertaining to the work before proceeding.

Contractor shall verify all dimensions, conditions, etc. scaled dimensions.

NOTE: Dimensions on the drawing shall take precedence over written dimensions and conditions shown on drawings. Any such variations shall be resolved by the Owner prior to proceeding with the work of the contractor shall accept full responsibility for cost to rectify same.





**The Design Department, Inc.**  
 Creating Your Perfect Space  
 1523 Boca Palau Dr.  
 Lake Oswego, Oregon 97034  
 (503) 332-3796

**NOTE:**  
 All dimensions on this drawing shall take precedence over  
 dimensions shown on these drawings. Any  
 such variation shall be resolved by the Owner prior to proceeding  
 with the work of the Contractor shall accept full responsibility  
 for cost to rectify same.

**Custom Home Plan for:**  
 Mary & Joe Salby  
 Pacific City, Oregon

Main Floor Plan

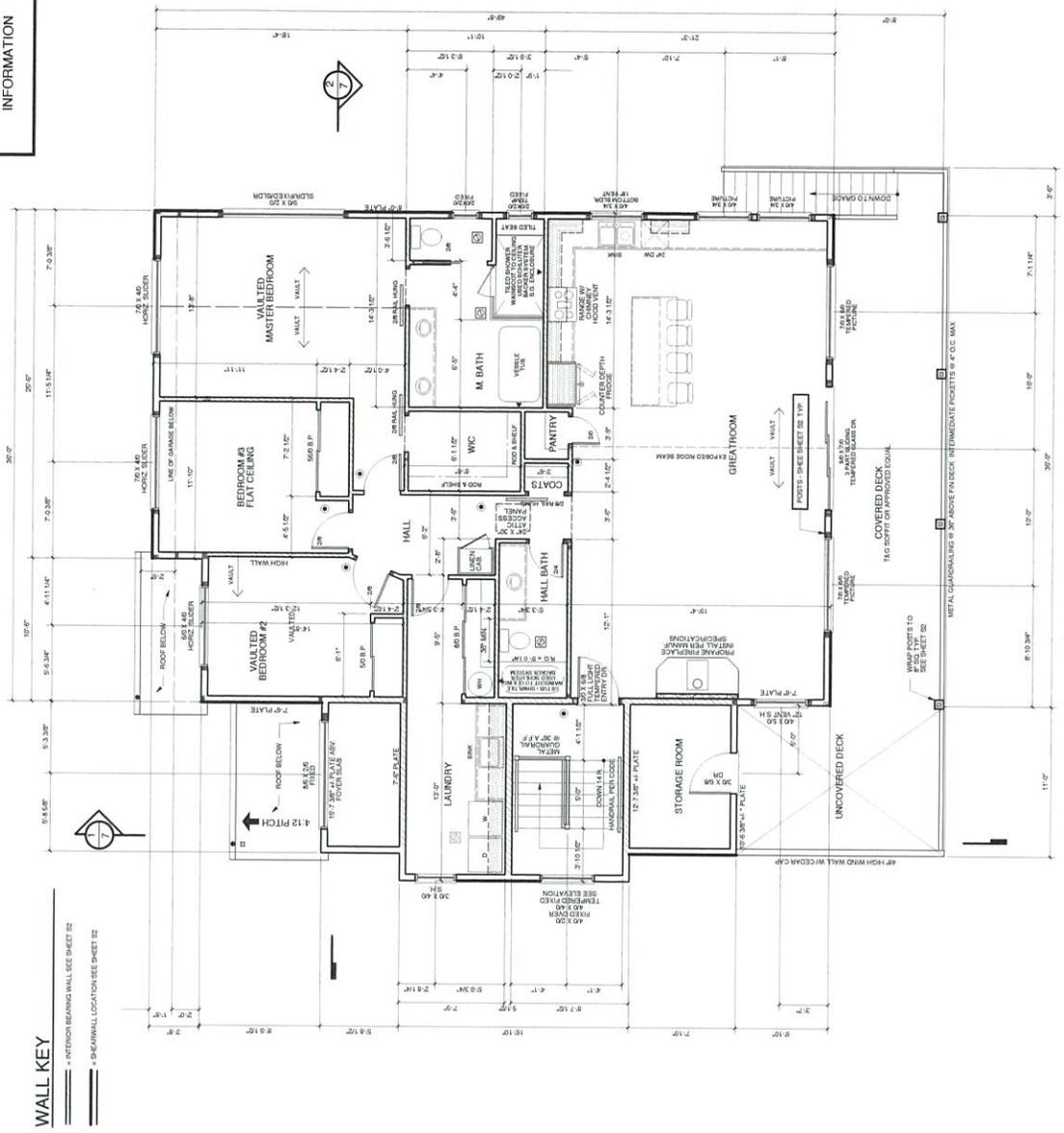
REVISIONS
07.23.24
08.15.24

ORIGIN DATE  
 07.10.24

PROJECT NO.  
 2124

**SHEET**  
**5**

ATTENTION FRAMER!  
 SEE 'S' SHEETS FOR  
 STRUCTURAL  
 INFORMATION



**WALL KEY**

- INTERIOR BEARING WALL SEE SHEET S2
- EXTERIOR WALL SEE SHEET S2

**MAIN FLOOR PLAN SEE SHEET S2**  
 2,053 SQ. FT. LIVING AREA (INCLUDES STORAGE ROOM & STAIRHALL)  
 472 SQ. FT. COVERED DECK AREA

SCALE: 1/4" = 1'-0"





ATTENTION FRAMER!  
CRITICAL!  
SEE 'S' SHEETS FOR  
STRUCTURAL  
INFORMATION

The Design Department, Inc.  
Creating Your Perfect Space,  
1523 Boca Raton Dr.  
Lake Oswego, Oregon 97034  
(503) 332-3796

NOTE:  
Dimensions on this drawing shall take precedence over  
dimensions in other drawings. Any  
conflicting dimensions shall be resolved by the Owner prior to proceeding  
with the work or the Contractor shall accept full responsibility  
for cost to rectify same.

Custom Home Plan for:  
Mary & Joe Selby  
Pacific City, Oregon

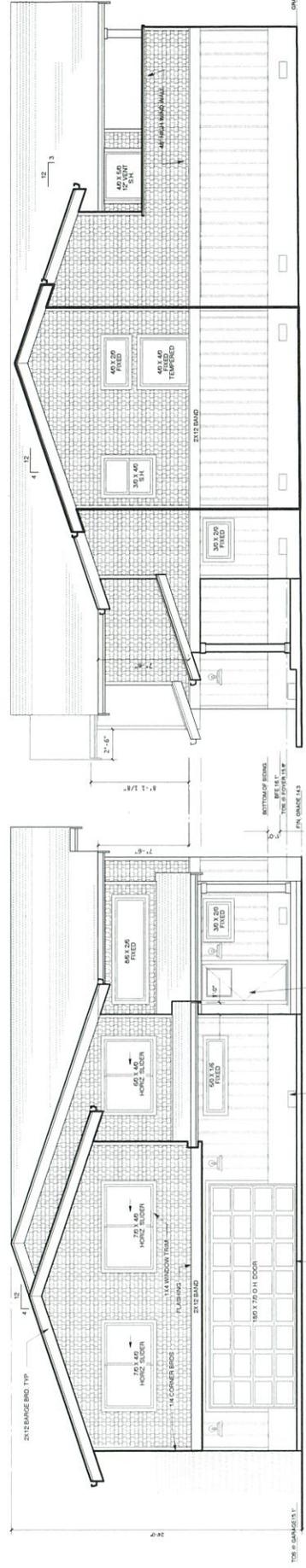
Exterior Elevations

REVISIONS	DATE	BY
07.23.24		
08.04.24		
08.15.24		

PROJECT NO:  
2124

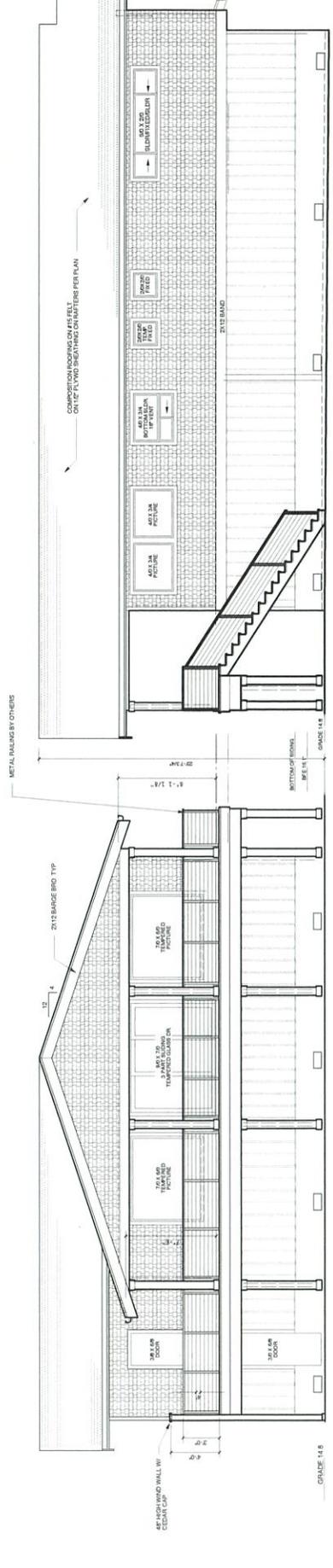
ORIGIN DATE:  
07.11.24

8  
SHEET



NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

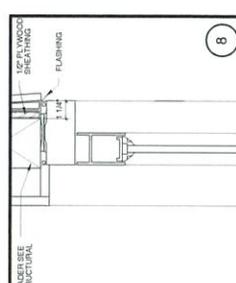
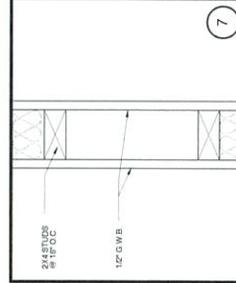
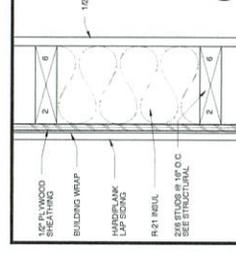
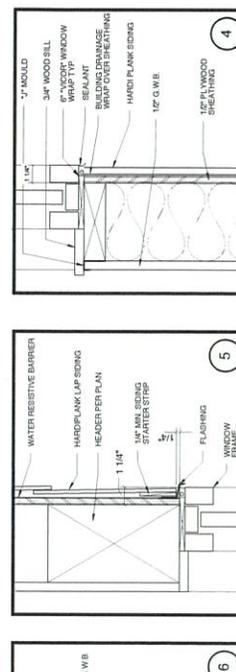
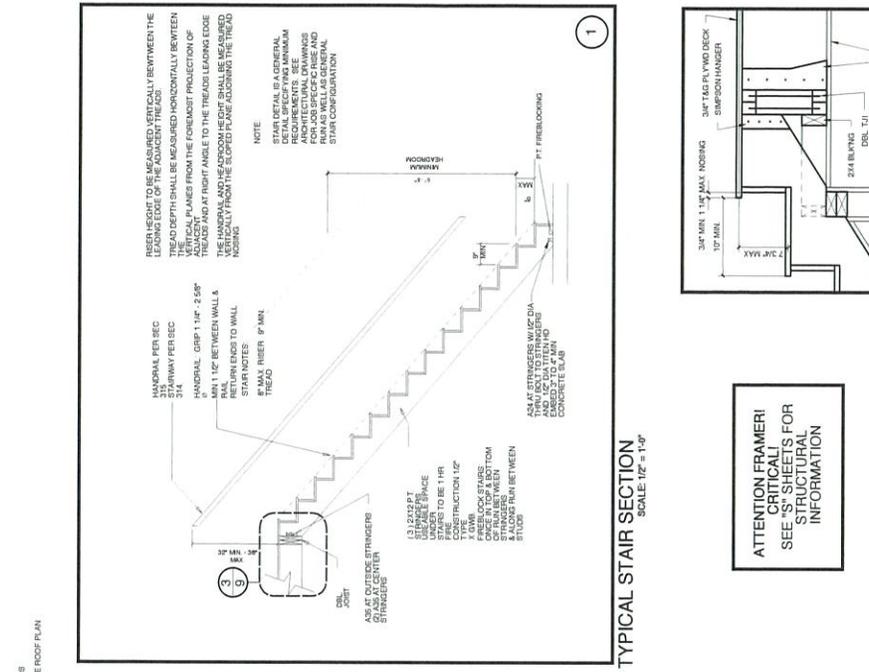
EAST ELEVATION  
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

WEST ELEVATION  
SCALE: 1/4" = 1'-0"

REVISIONS	DATE	DESCRIPTION
07/23/24		
08/04/24		
08/15/24		
08/28/24		
09/10/24		
09/24/24		
10/08/24		
10/22/24		
11/05/24		
11/19/24		
12/03/24		
12/17/24		
12/31/24		

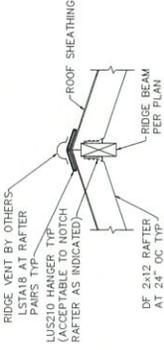




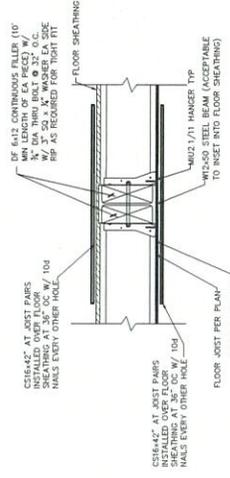




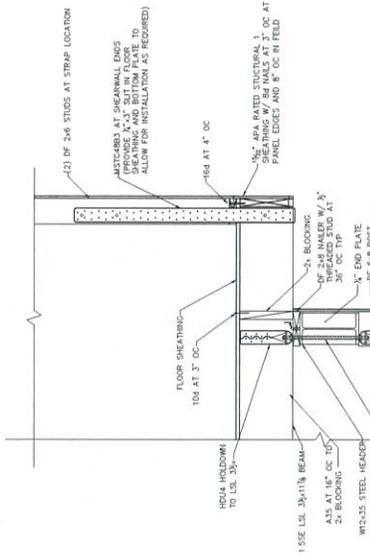




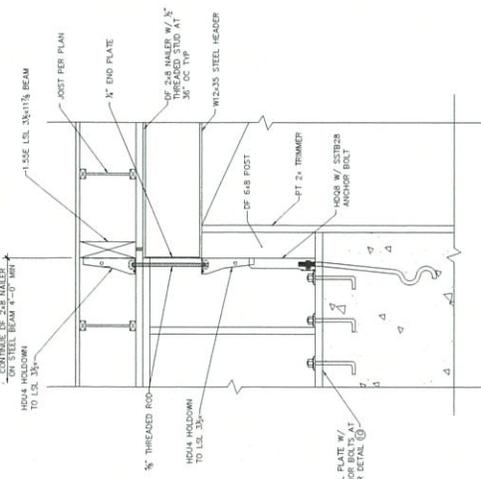
44 RIDGE SECTION  
SCALE: 1/2" = 1'-0"



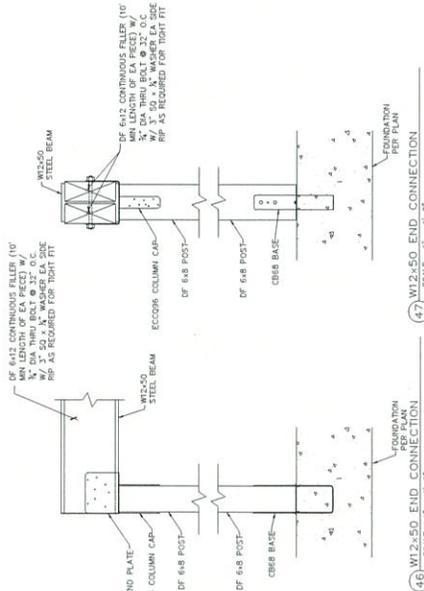
45 W12x50 SECTION  
SCALE: 1" = 1'-0"



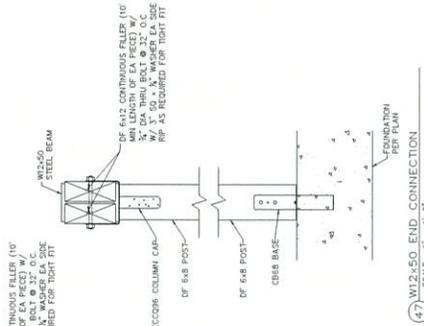
46 GARAGE HEADER POST  
SCALE: 1" = 1'-0"



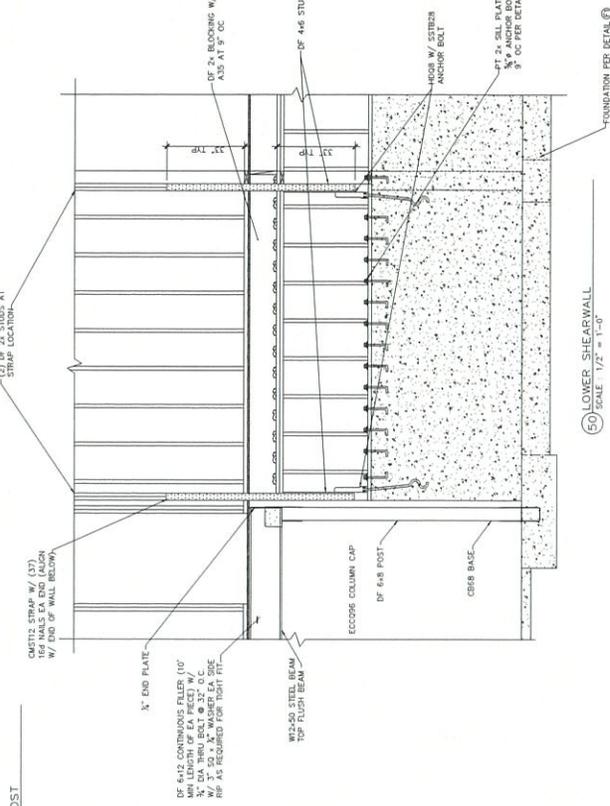
47 W12x50 END CONNECTION  
SCALE: 1" = 1'-0"



48 POST TO POST AT DECK  
SCALE: 1/2" = 1'-0"



49 POST TO POST AT DECK  
SCALE: 1/2" = 1'-0"



50 LOWER SHEARWALL  
SCALE: 1/2" = 1'-0"

CONTINUE DF 2x8 HANGER TYP PER PLAN 4'-0\"/>

H404 HOLDDOWN TO L3L 3x4

1/2\"/>

H404 HOLDDOWN TO L3L 3x4

1/2\"/>

1/2\"/>

H404 HOLDDOWN TO L3L 3x4

1/2\"/>

H404 HOLDDOWN TO L3L 3x4

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H404 HOLDDOWN TO L3L 3x4

1/2\"/>

H404 HOLDDOWN TO L3L 3x4

1/2\"/>



# **EXHIBIT C**

## Melissa Jenck

---

**From:** BRADLEY Robert \* ODFW <Robert.BRADLEY@odfw.oregon.gov>  
**Sent:** Thursday, February 27, 2025 5:32 PM  
**To:** Melissa Jenck  
**Cc:** Sarah Thompson; Sarah Absher  
**Subject:** EXTERNAL: RE: 851-25-000087-PLNG: Selby Riparian Exception

**[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]**

Melissa,

As in my previous communication, ODFW does not object to the reduced setback at this location.

Robert

Robert W. Bradley  
District Fish Biologist  
Oregon Department of Fish and Wildlife  
North Coast Watershed District  
4907 Third St  
Tillamook, OR 97141  
503-842-2741 x18613 (w)  
503-842-8385 (fax)

---

**From:** Melissa Jenck <Melissa.Jenck@tillamookcounty.gov>  
**Sent:** Thursday, February 27, 2025 3:04 PM  
**To:** Melissa Jenck <Melissa.Jenck@tillamookcounty.gov>  
**Cc:** Sarah Thompson <sarah.thompson@tillamookcounty.gov>; Sarah Absher <Sarah.Absher@tillamookcounty.gov>  
**Subject:** 851-25-000087-PLNG: Selby Riparian Exception

Good afternoon,

Please see the link below for the Notice of Application for 851-25-000087-PLNG for a Riparian Exception for 35670 Airport Way, Pacific City, OR.

<https://www.tillamookcounty.gov/commdev/project/851-25-000087-plng>

Sincerely,

\*\*\* Please note that the Tillamook County domain has changed, and my email address is now [Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov) Please update your contact information as needed. Thank you. \*\*\*