



1510 - B Third Street  
Tillamook, Oregon 97141  
www.tillamook.or.us

Building (503) 842-3407  
Planning (503)842-3408  
On-Site Sanitation (503)842-3409  
Fax (503)842-1819  
Toll Free 1 (800)488-8280

**VARIANCE REQUEST #851-21-000244-PLNG: SAXTON**

*NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:  
ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,  
IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER*

**NOTICE OF ADMINISTRATIVE REVIEW**

**Date of Notice: November 24, 2021**

Notice is hereby given that the Tillamook County Department of Community Development is considering the following:

**#851-21-000244-PLNG:** A Variance request to reduce the 70% side-width maximum for construction of a single-family dwelling on a property located in the Unincorporated Community of Neskowin. The subject property is accessed via Kinnikinnick Dr., a private road, is zoned Neskowin Low Density Residential (Nesk R-1) and is designated as Tax Lot 3500 of Section 24BD, Township 5 South, Range 11 West, W.M., Tillamook County, Oregon. The applicants and property owners are Lynne & Hume Saxton.

Written comments received by the Department of Community Development prior to 4:00 p.m. on December 7, 2021, will be considered in rendering a decision. Comments should address the criteria upon which the Department must base its decision. A decision will be rendered no sooner than the next business day, December 8, 2021. Notice of the application, a map of the subject area, and the applicable criteria are being mailed to all property owners within 250 feet of the exterior boundaries of the subject parcel for which an application has been made and other appropriate agencies at least 14 days prior to this Department rendering a decision on the request.

A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141. They are also available on the Tillamook County Department of Community Development website: <http://www.co.tillamook.or.us/gov/ComDev/landuseapps>

If you have any questions about this application, please contact the Department of Community Development at (503) 842-3408 ext. 3317 or [claws@co.tillamook.or.us](mailto:claws@co.tillamook.or.us).

Sincerely,

Christopher S. Laws, Planner II

Sarah Absher, CFM, Director

Enc. Maps and applicable ordinance criteria

## REVIEW CRITERIA

### ARTICLE VIII - VARIANCE PROCEDURES AND CRITERIA

**SECTION 8.030: REVIEW CRITERIA:** A VARIANCE shall be granted, according to the procedures set forth in Section 8.020, if the applicant adequately demonstrates that the proposed VARIANCE satisfies all of the following criteria:

- (1) Circumstances attributable either to the dimensional, topographic, or hazardous characteristics of a legally existing lot, or to the placement of structures thereupon, would effectively preclude the enjoyment of a substantial property right enjoyed by the majority of landowners in the vicinity, if all applicable standards were to be met. Such circumstances may not be self-created.
- (2) A VARIANCE is necessary to accommodate a use or accessory use on the parcel which can be reasonably expected to occur within the zone or vicinity.
- (3) The proposed VARIANCE will comply with the purposes of relevant development standards as enumerated in Section 4.005 and will preserve the right of adjoining property owners to use and enjoy their land for legal purposes.
- (4) There are no reasonable alternatives requiring either a lesser or no VARIANCE.

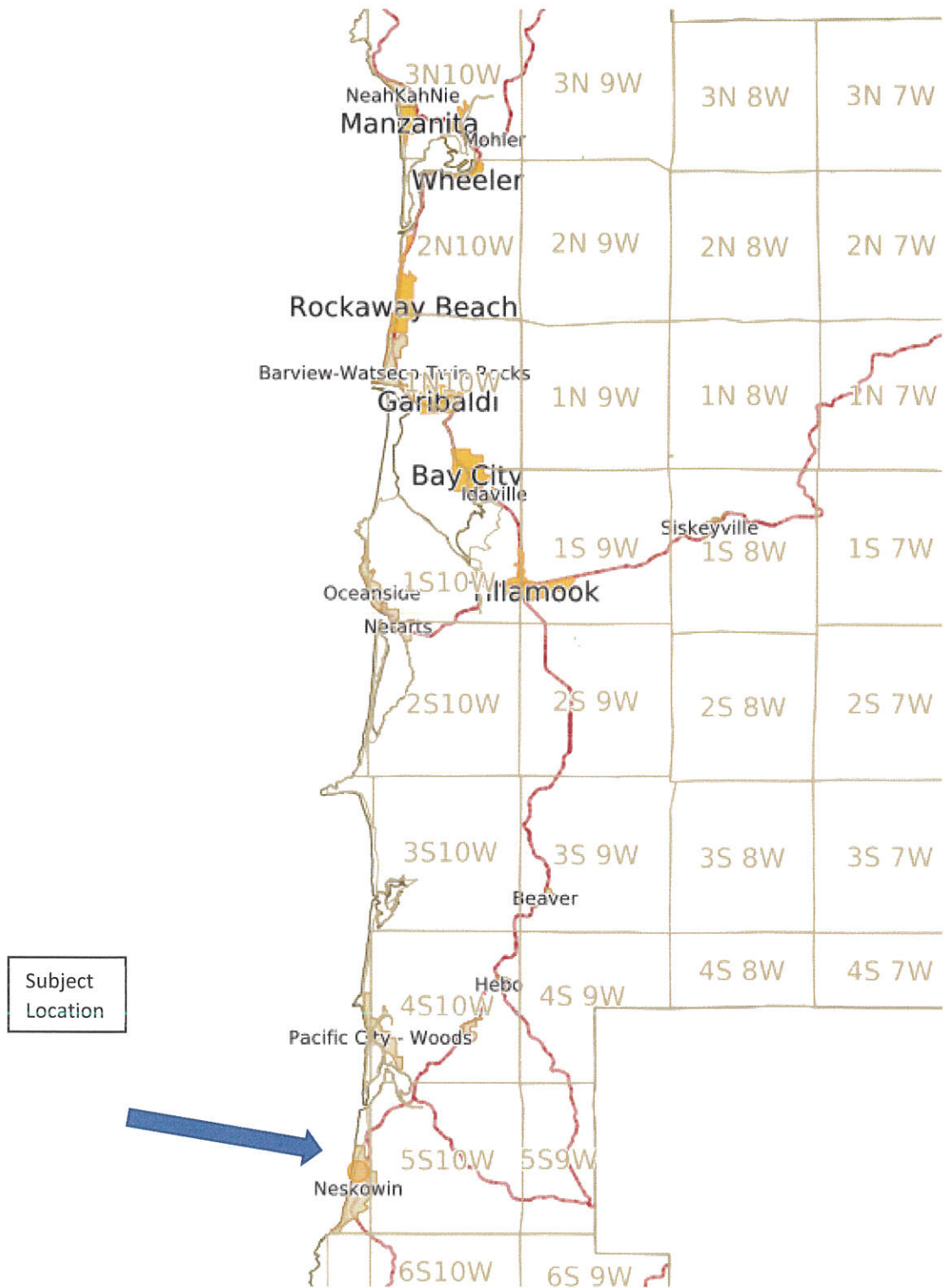
### SECTION 4.005: RESIDENTIAL AND COMMERCIAL ZONE STANDARDS

In all RESIDENTIAL AND COMMERCIAL ZONES, the purpose of land use standards is the following:

- (1) To ensure the availability of private open space;
- (2) To ensure that adequate light and air are available to residential and commercial structures;
- (3) To adequately separate structures for emergency access;
- (4) To enhance privacy for occupants of residences;
- (5) To ensure that all private land uses that can be reasonably expected to occur on private land can be entirely accommodated on private land, including but not limited to dwellings, shops, garages, driveways, parking, areas for maneuvering vehicles for safe access to common roads, alternative energy facilities, and private open spaces;
- (6) To ensure that driver visibility on adjacent roads will not be obstructed;
- (7) To ensure safe access to and from common roads;
- (8) To ensure that pleasing views are neither unreasonably obstructed nor obtained;
- (9) To separate potentially incompatible land uses;
- (10) To ensure access to solar radiation for the purpose of alternative energy production.

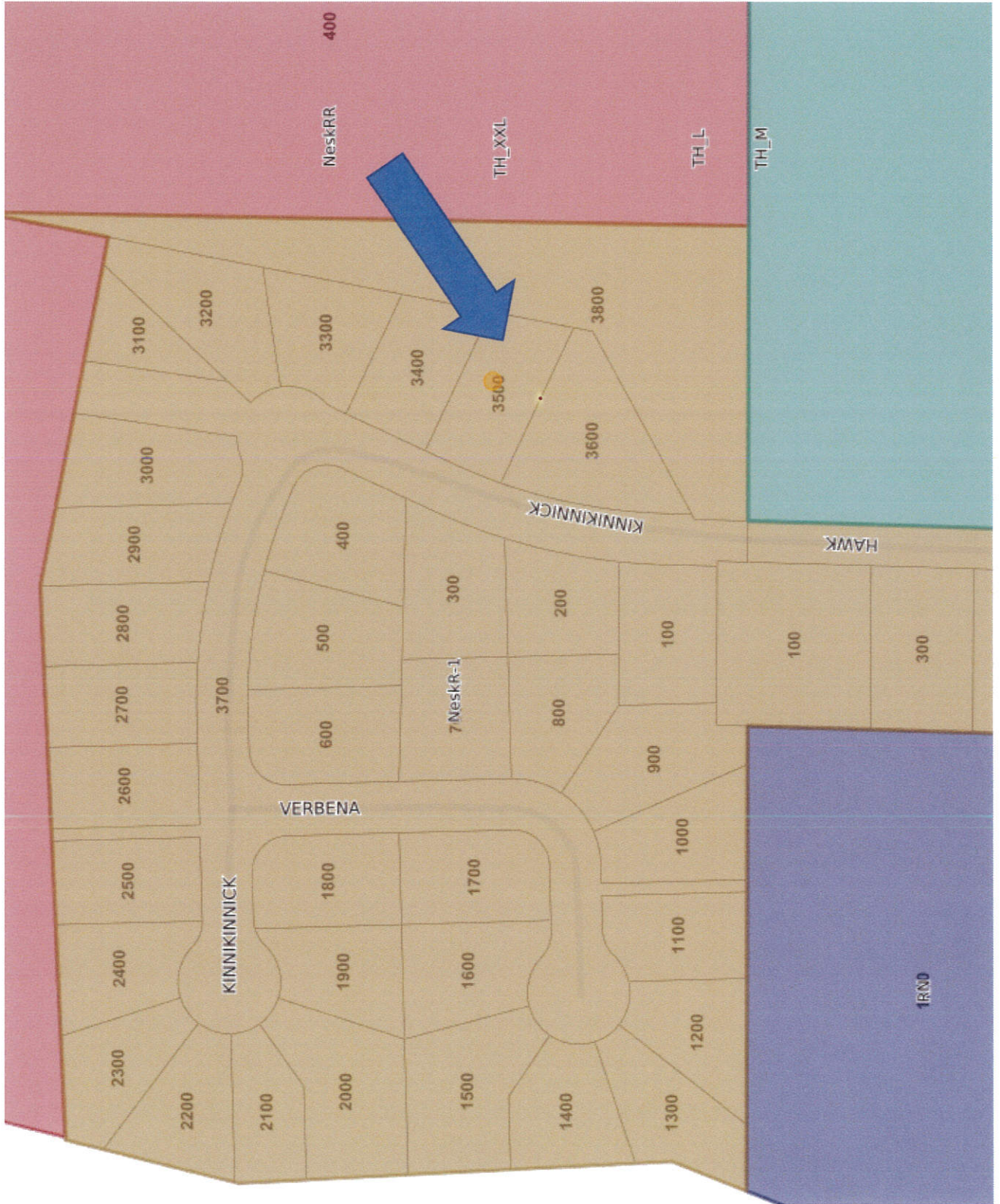
# EXHIBIT A

VICINITY MAP



851-21-000244-PLNG SAXTON

ZONE MAP



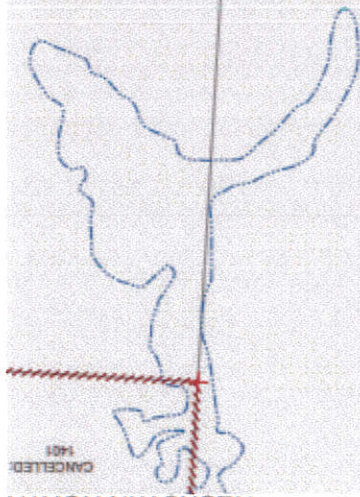
TAX MAP

S.E. 1/4 N.W. 1/4 SEC. 24 T. 5S. R. 11W. W.M.

Tillamook County

1" = 100'

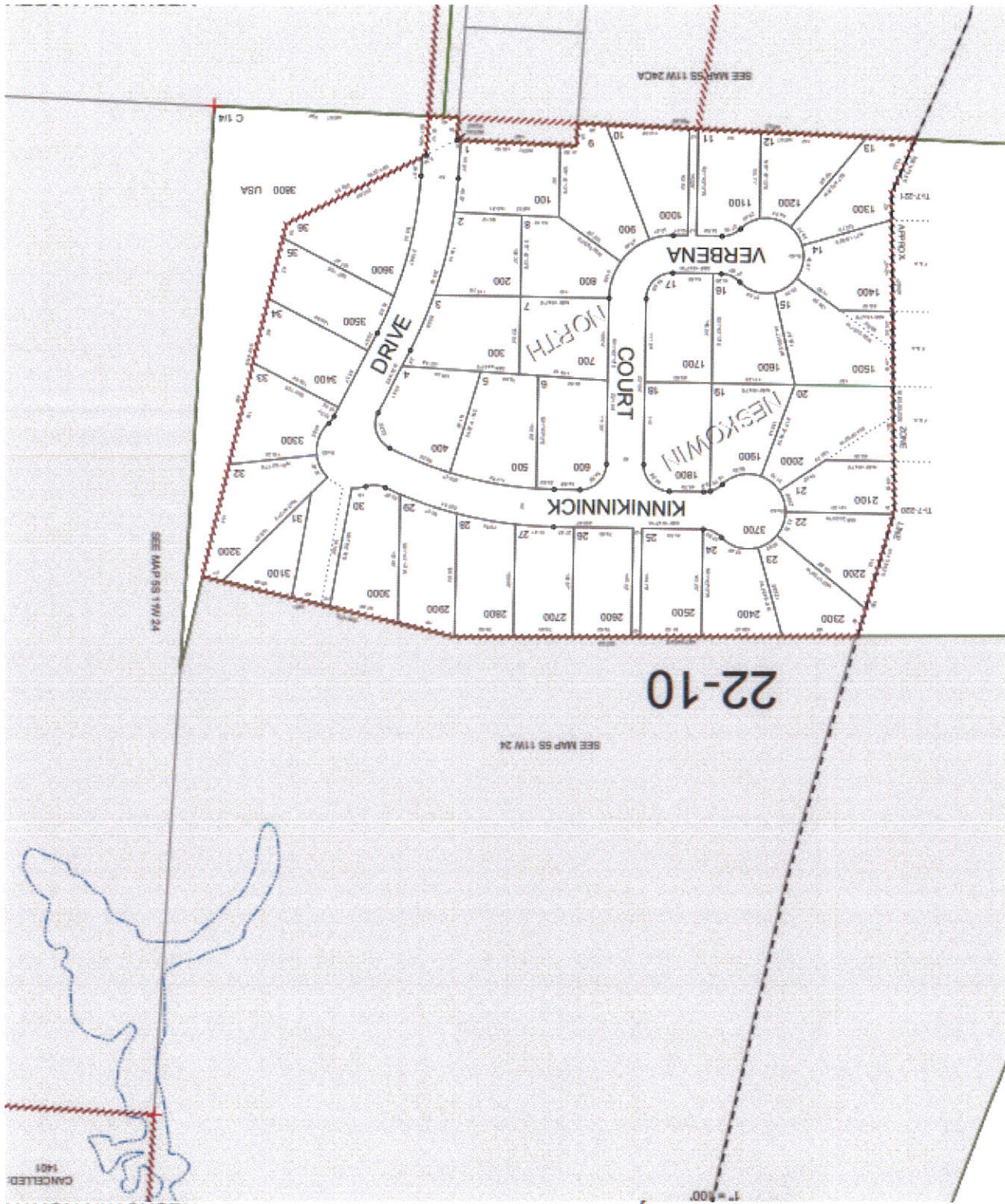
05S11W24BD  
NESKOWIN NORTH  
CANCELED:  
1401



SEE MAP 55 11W 24

SEE MAP 55 11W 24

22-10



851-21-000244-PLNG SAXTON

# EXHIBIT B

)  
)

)  
)



JUL 01 2021  
MARZ

## PLANNING APPLICATION

| OFFICE USE ONLY   |
|---|
| Date Stamp  |
| <input type="checkbox"/> Approved <input type="checkbox"/> Denied |
| Received by: <i>SS</i>  |
| Receipt #:  |
| Fees: <i>1089.00</i>  |
| Permit No:<br><i>851-21-000244-PLNG</i>                           |

**Applicant**  (Check Box if Same as Property Owner)

Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Property Owner**

Name: Lynne Saxton Phone: \_\_\_\_\_  
 Address: 45955 Kinnikinick Drive  
 City: Neskowin State: OR Zip: 97149  
 Email: lynne.saxton@gmail.com

Request: A variance to the maximum 70% width ( code section 3.322) We are replacing an existing Carport with a new garage/bedroom. The new construction exceeds the maximum allowable width of 56'-4 1/2". It does not exceed the existing 65'-4 3/8" width of the current house and carport. The Proposed new structure and house width would be 65'-4" ( 81%).

| Type II  | Type III   | Type IV   |
|--|--|---|
| <input type="checkbox"/> Farm/Forest Review                                | <input type="checkbox"/> Extension of Time                       | <input type="checkbox"/> Ordinance Amendment              |
| <input type="checkbox"/> Conditional Use Review                            | <input type="checkbox"/> Detailed Hazard Report                  | <input type="checkbox"/> Large-Scale Zoning Map Amendment |
| <input checked="" type="checkbox"/> Variance                               | <input type="checkbox"/> Conditional Use (As deemed by Director) | <input type="checkbox"/> Plan and/or Code Text Amendment  |
| <input type="checkbox"/> Exception to Resource or Riparian Setback         | <input type="checkbox"/> Ordinance Amendment                     |   |
| <input type="checkbox"/> Nonconforming Review (Major or Minor)             | <input type="checkbox"/> Map Amendment                           |   |
| <input type="checkbox"/> Development Permit Review for Estuary Development | <input type="checkbox"/> Goal Exception                          |   |
| <input type="checkbox"/> Non-farm dwelling in Farm Zone                    |  |   |
| <input type="checkbox"/> Fore-dune Grading Permit Review                   |  |   |
| <input type="checkbox"/> Neskowin Coastal Hazards Area                     |  |   |

**Location:**

Site Address: 45955 Kinnikinick Drive Neskowin Oregon 97149  
 Map Number: 5-11-24-BD-3500 Lot 35 of Neskowin North

| Township | Range | Section | Tax Lot(s) |
|----------|-------|---------|------------|
|          |       |         |            |

Clerk's Instrument #: \_\_\_\_\_

**Authorization**

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

|   |              |
|---|--------------|
| <u>Lynne H. Saxton</u><br><small>Lynne H. Saxton (Jun 29, 2021 12:45 PDT)</small> | Jun 29, 2021 |
| Property Owner Signature (Required)   | Date         |
| <u>Lynne H. Saxton</u><br><small>Lynne H. Saxton (Jun 29, 2021 12:45 PDT)</small> | Jun 29, 2021 |
| Applicant Signature   | Date         |



**SECTION 8.030: REVIEW CRITERIA**

- (1) *Circumstances attributable either to the dimensional, topographic, or hazardous characteristics of a legally existing lot, or to the placement of structures thereupon, would effectively preclude the enjoyment of a substantial property right enjoyed by the majority of landowners in the vicinity, if all applicable standards were to be met. Such circumstances may not be self-created.*

The existing dimensional parameters of the site along with the location of the existing dwelling and driveway location would lend itself to a garage to be located in the location of the current carport. In order to meet the 70 % width rule the new garage structure would need to be located in front of the home. Given the setback requirement, this would not be possible.

- (2) *A VARIANCE is necessary to accommodate a use or accessory use on the parcel which can be reasonably expected to occur within the zone or vicinity.*

The variance is required to accommodate the construction of the garage and bedroom. The garage and additional bedroom are uses that are reasonably to be expected to occur within this residential zone and consistent with neighboring homes. In reviewing neighboring homes along Kinnikinick within the same Neskowin R-1 zone, it is obvious that most of the homes, particularly the homes at the North end of the development (45805, 45825,45835,45845, 45775, 45735,45915 , 45855 ) are constructed to the full width of the lot up to the 5 foot side yard setbacks and do not meet the 70% rule. See the attached LUR-1 drawing attached. We would reasonably expect the same consideration.

- (3) *The proposed VARIANCE will comply with the purposes of relevant development standards as enumerated in Section 4.005 and will preserve the right of adjoining property owners to use and enjoy their land for legal purposes.*

The proposed design preserves the intent of the supplementary regulations set forth in Section 4.005

- (1) By locating the new garage in essentially the same location as the current carport, the private open space in the front and rear of the home is maintained.

(2) The new garage meets the current side, front and rear setbacks, which are the reason setbacks were developed, specifically to maintain adequate light and air to the structures. The new garage is also separated from the main home by 5 - 9" to allow the existing homes' windows and ventilation to be maintained.

(3) Adequate access for emergency has been maintained to all sides of the home from the public right of way and off-street parking is maintained for emergency vehicles as well.

(4) The proposed design focusses the occupants' views and access towards east and west and maintains privacy for the immediate neighbors to the South

(5) No changes are being implemented that would alter the houses and garage relationship to the common roads. All the private uses noted are continuing to be occurring on the owner's private land.

(6) & (7) No changes have been implemented that would alter driver visibility or safe access to and from the common road which is a private drive.

(8) By locating the new structure in essentially the same location as the current carport no views are unreasonably obstructed nor obtained. There is an existing mature vegetation and treed buffer between the proposed structure and the neighbors to the south that is being maintained.

(9) The proposed uses are in line with the approved Zoning uses for the property and no incompatible uses are being proposed.

(10) The new structure, due to its location, orientation and the natural sun route would not cause any solar shading to the neighbor's property and would not inhibit the applications property from having full solar access.

(4) *There are no reasonable alternatives requiring either a lesser or no VARIANCE.*

We looked at alternate designs in an effort to fit within the allowable 70% width. None of the options could accommodate the owners programming needs. The minimal width available to fit within those guidelines compromised the plans to the point of making the project unbuildable.



July 29, 2021

Sarah Absher, Director  
Tillamook County Department of Community Development  
1510-B Third Street.  
Tillamook, OR 97141

Re: Variance for 70% maximum building width along the front yard for property located at 45955 Kinnikinick Drive, Neskowin OR.

Dear Director Absher,

Please find enclosed, along with this letter, a completed Planning Application package for a variance request for the carport replacement to the Lynne and Ron Saxton's property located at 45955 Kinnikinick Drive, Neskowin OR.

It is our understanding that you will be reviewing the variance. I would appreciate it if you would verify that we do, in fact, need to submit for this variance since we were initially told that if the new garage did not exceed the width of the current home/carport we could submit for the building permit without needing a variance.

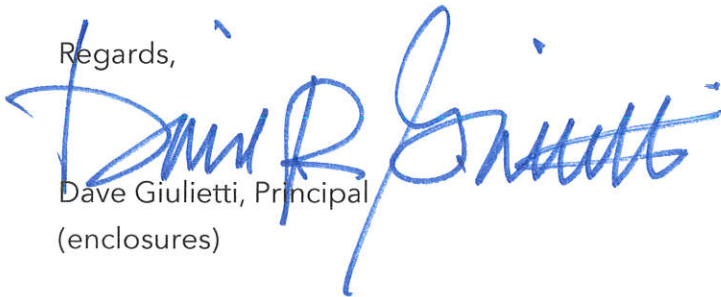
Once we submitted our plans for a building permit, we were then notified that we did need the variance. In any event, we have supplied the Variance Application and support drawings and documents for your use and review. Certainly, if there is a way to avoid the variance, we could save your staff significant time and effort and save our client the estimated 12-week review time so that we could submit for the building permit and get the work constructed during this current building season.

Please find enclosed:  
Planning Application  
Planning Application narrative with Drawing LUR - 1  
Architectural Drawings ;  
A.0 Cover Sheet  
A.1 Title sheet  
A.2 Site Survey  
A.3 Site Plan  
A.3.1 Existing Site Plan and Existing photos

- A.4 Floor Plans
- A.5 Roof Plan
- A.6 Building Elevations
- A.7 Building Elevations
- A.8 Building Sections

Thank you for your assistance.

Regards,

A handwritten signature in blue ink, appearing to read "Dave Giulietti". The signature is stylized and overlaps with the printed name below it.

Dave Giulietti, Principal  
(enclosures)



**GIULIETTI / SCHOUTEN  
AIA, Architects, P.C.**

2800 N.W. Thurman Street  
Portland, Oregon 97210

Telephone (503) 223-0325  
Fax (503) 241-9323

**LETTER OF TRANSMITTAL**

TO TILLAMOOK COUNTY COMM. DVLP.  
1510-B THIRD STREET  
TILLAMOOK, OR 97141

|   |         |
|---|---------|
| DATE<br><b>JUNE 29, 2021</b>                      | JOB NO. |
| ATTENTION   |         |
| RE:<br><b>VARIANCE - TYPE II REVIEW DOCUMENTS</b> |         |
|   |         |
|   |         |
|   |         |
|   |         |
|   |         |

WE ARE SENDING YOU  Attached  Under separate cover via \_\_\_\_\_ the following items:

- Shop drawings       Prints       Plans       Samples       Specifications  
 Copy of letter       Change order       **APPLICATION + NARRATIVE CRITERIA + COVER LETTER**

| COPIES | DATE    | NO. | DESCRIPTION  |
|--------|---------|-----|--|
| 1      | 6/29/21 |     | BUILDING APPLICATION (8.5x11)                        |
| 2      | 6/29/21 |     | DRAWINGS: PLANS, ELEVATIONS, SECTIONS (FOLDED 24x36) |
| 1      | 6/29/21 |     | NARRATIVE RESPONSE TO REVIEW CRITERIA (8.5x11)       |
| 1      | 6/29/21 |     | COVER LETTER (8.5x11)                                |
|        |         |     |  |
|        |         |     |  |
|        |         |     |  |
|        |         |     |  |

THESE ARE TRANSMITTED as checked below:

- For approval       Approved as submitted       Resubmit \_\_\_\_\_ copies for approval  
 For your use       Approved as noted       Submit \_\_\_\_\_ copies for distribution  
 As requested       Returned for corrections       Return \_\_\_\_\_ corrected prints  
 For review and comment       **FOR VARIANCE APPLICATION SUBMISSION**  
 FOR BIDS DUE \_\_\_\_\_       PRINTS RETURNED AFTER LOAN TO US

REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

COPY TO \_\_\_\_\_

SIGNED:  **ANDREW STRICKER**

*If enclosures are not as noted, kindly notify us at once.*



SAXTON RESIDENCE  
CARPORT REPLACEMENT - GARAGE

GIULIETTI | SCHOUTEN  
AIA ARCHITECTS

# ARCHITECTURAL SYMBOLS

|  |                                |  |                                   |  |                             |
|--|--------------------------------|--|-----------------------------------|--|-----------------------------|
|  | EARTH                          |  | GRID LINE                         |  | SETBACK LINES               |
|  | GRAVEL                         |  | BUILDING SECTION                  |  | PROPERTY LINES              |
|  | CONCRETE                       |  | WALL SECTION                      |  | BREAK LINE                  |
|  | ASPHALT                        |  | DETAIL REFERENCE                  |  | CENTERLINE                  |
|  | STEEL                          |  | INTERIOR ELEVATION                |  | FINISH CONTOUR              |
|  | ALUMINUM                       |  | WALL TYPE                         |  | EXISTING CONTOUR            |
|  | BRICK                          |  | DOOR NUMBER                       |  | SPOT ELEVATION              |
|  | CONCRETE BLOCK                 |  | WINDOW NUMBER                     |  | TEST BORING                 |
|  | WOOD (FINISHED)                |  | KEYNOTE                           |  | VERTICAL ELEVATION          |
|  | WOOD (ROUGH)                   |  | NEW WALL                          |  | BENCH MARK                  |
|  | PLYWOOD                        |  | EXISTING WALL                     |  | FENCE                       |
|  | GLU-LAM BEAM                   |  | WALL TO BE REMOVED                |  | EROSION CONTROL FENCE       |
|  | INSULATION                     |  | CEILING HEIGHT KEY                |  | ELECTRICAL LINE             |
|  | INSULATION BOARD OR SPRAY FOAM |  | NORTH ARROW                       |  | GAS LINE                    |
|  | GYPSUM BOARD                   |  | SHEAR WALL                        |  | WATER LINE                  |
|  | GLASS                          |  | SHEAR WALL KEY                    |  | STORM WATER LINE            |
|  | MEMBRANE                       |  | HOLD DOWN KEY                     |  | EXISTING TREE TO BE REMOVED |
|  | BUILDING PAPER                 |  | ALIGN                             |  | NEW TREE                    |
|  |                                |  | SMOKE / CARBON MONOXIDE DETECTORS |  | EXISTING TREE               |
|  |                                |  | EXHAUST FAN                       |  | REVISION CLOUD              |
|  |                                |  |                                   |  | REVISION NUMBER             |

# ABBREVIATIONS

|  |   |                            |                                 |
|--|---|----------------------------|---------------------------------|
| ∠ AND ANGLE  | (E) EXISTING                                  | JAN JANITOR                | REF REFRIGERATOR                |
| • AT EACH CENTERLINE DIAMETER OR ROUND PERPENDICULAR PLUS-OR-MINUS FOUND OR NUMBER | EAST  | JT JOINT                   | REIN REINFORCE (D) (ING)        |
| ∅ EACH CENTERLINE DIAMETER OR ROUND PERPENDICULAR PLUS-OR-MINUS FOUND OR NUMBER    | ELEVATION                                     | KPL KICK PLATE             | REV REVISION (S), REVISED       |
| ⊥ PERPENDICULAR  | EXPANSION JOINT                               | LAB LABORATORY             | RY ROOM                         |
| ± PLUS-OR-MINUS FOUND OR NUMBER  | ELECTRICAL                                    | LAM LAMINATE (D)           | RO ROUGH OPENING                |
| • FOUND OR NUMBER  | ELECTRICAL PANEL                              | LAV LAVATORY               | S SOUTH                         |
| AB ANCHOR BOLT   | EQUAL   | LT LIGHT                   | SC SOLID CORE                   |
| AC AIR CONDITIONING  | EQUIP   | MAX MAXIMUM                | SECT SECTION                    |
| ACOUS ACOUSTICAL   | EROSION, SEDIMENT, POLLUTION CONTROL PLAN     | MECH MECHANICAL            | SHUR SHOWER                     |
| AD AREA DRAIN  | EXIST EXTERIOR                                | MED MEDIUM                 | SHT SHEET                       |
| ADJ ADJACENT   | FA FIRE ALARM                                 | MGF MANUFACTUR (ER)        | SIM SIMILAR                     |
| ALUM ALUMINUM  | FD FLOOR DRAIN                                | MH MANHOLE                 | SPEC SPECIFICATIONS             |
| ANOD ANODIZE   | FEC FIRE EXTINGUISHER CABINET                 | MIN MINIMUM                | SS STAINLESS STEEL              |
| APPROX APPROXIMATE   | FF FINISH FLOOR                               | MISC MISCELLANEOUS         | STD STANDARD                    |
| ARCH ARCHITECTURAL   | FH FIRE HYDRANT                               | MO MASONRY OPENING         | STL STEEL                       |
| BD BOARD   | FN FINISH (ED)                                | MTL METAL                  | STOR STORAGE                    |
| BLDG BUILDING  | FLR FLOOR                                     | MULL MULLION               | STRUCT STRUCTURAL               |
| BLKG BLOCKING  | FND FOUNDATION                                | (N) NEW                    | T TREAD                         |
| BM BEAM  | FOB FACE OF BRICK                             | N NORTH                    | TA TOP OF ASPHALT TO BE REMOVED |
| BOT BOTTOM   | FOC FACE OF CONCRETE                          | NIC NOT IN CONTRACT        | TFL TOP OF FLATE                |
| BR BEDROOM   | FOF FACE OF FINISH                            | NO NOT TO SCALE            | TC TOP OF CURB                  |
| CB CATCH BASIN   | FOM FACE OF MASONRY                           | OC ON CENTER               | TEL TELEPHONE                   |
| CC CENTER TO CENTER  | FOS FACE OF STUD                              | OD OUTSIDE DIAMETER        | T4G TONGUE AND GROOVE           |
| CI CAST IRON   | FTG FOOTING                                   | OH OVERHANG                | TI INSULATED SAFETY GLASS       |
| CLG CEILING  | FUR FURRED (ING)                              | (O) OVERHANG               | TOC TOP OF CONCRETE             |
| CLR CLEAR  | FRS FIRE 4 PRESSURE TREATED WOOD              | OV OVERHANG                | TV TELEVISION                   |
| CMU CONCRETE MASONRY UNIT  | FPSC FIRE PROOF SELF CLOSING                  | FL PLATE LINE              | TOW TOP OF WALL                 |
| CO CLEAN OUT   | GA GAGE, GAUGE                                | FLAM FLAME                 | TWX TELETYPEWRITER              |
| COL COLUMN   | GB GRAB BAR                                   | FLY FLUOYD                 | TYP TYPICAL                     |
| CONC CONCRETE  | GI GALVANIZED IRON                            | FNL PANEL                  | VCT VINYL COMPOSITION TILE      |
| CONST CONSTRUCTION   | GYP GYPSUM BOARD                              | FR PAIR                    | VERT VERTICAL                   |
| CONT CONTINUOUS OR CONTINUE  | HB HOSE BIB                                   | PSI POUNDS PER SQUARE INCH | VFP VENEER PLASTER              |
| CT CERAMIC TILE  | HC HOLLOW CORE                                | PT PRESURE TREATED         | VEST VESTIBULE                  |
| CJ CONSTRUCTION JOINT  | HM HOLLOW METAL                               | PVC POLYVINYL CHLORIDE     | W WEST                          |
| DF DRINKING FOUNTAIN   | HORIZ HORIZONTAL                              | QT QUARRY TILE             | W/ WITH                         |
| DIA DIAMETER   | HVAC HEATING, VENTILATING, & AIR CONDITIONING | R RISER                    | WC WATER CLOSET                 |
| DIM DIMENSION  | ID INSIDE DIAMETER                            | RA RETURN AIR              | WD WOOD                         |
| DR DOOR  | INSUL INSULATION                              | RB RUBBER BASE             | WH WATER HEATER                 |
| DS DOWNSPROUT  | INT INTERIOR                                  | RD ROOF DRAIN              | WI WITHOUT                      |
| DTL DETAIL   |   | REF REFRIGERATOR           | WP WATERPROOF                   |
| DWG DRAWINGS   |   |                            | WSC WAINSCOT                    |

# CONSTRUCTION NOTES

### GENERAL NOTES

- ALL WORK TO MEET APPLICABLE LOCAL AND STATE BUILDING CODES.
- ALL NEW PLUMBING FIXTURES TO CONFORM TO LATEST PLUMBING CODE.
- ALL HANDRAILS AND GUARDS SHALL MEET REQUIREMENTS OF SEC. R311 AND SEC. R312 OF THE ORSC.
- ALL REFERENCES TO METAL FRAMING CONNECTORS AND ACCESSORIES REFER TO 'SIMPSON' PRODUCTS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE 110 V INTERCONNECTED SMOKE DETECTORS WITH BATTERY BACKUP AT ALL FLOOR LEVELS AS PER ORSC SEC. R314. SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

### FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.) UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO USE 2X6 WOOD STUDS 16" O.C. UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS TO BE 2X4 WOOD STUDS 16" O.C. UNLESS NOTED OTHERWISE.
- ALL SLEEPING ROOMS SHALL BE PROVIDED WITH EMERGENCY EGRESS OPENINGS, ORSC SEC. R310. CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SLEEPING ROOMS TO BE PROVIDED W/EGRESS WINDOW WHETHER OR NOT INDICATED ON DRAWINGS/SCHEDULE.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING TEMPERED GLASS IN ALL LOCATIONS AS REQUIRED BY CODE WHETHER OR NOT INDICATED AS TEMPERED ON DRAWINGS/SCHEDULE. SAFETY GLAZING SHALL BE PROVIDED IN ACCORDANCE WITH ORSC R308.4. A. AT TUBS OR SHOWERS WHERE THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR. C. PANES GREATER THAN 9 SQ. FT. AND LESS THAN 18" ABOVE THE FLOOR.
- ALL HANDRAILS AND GUARDRAILS SHALL MEET REQUIREMENTS OF ORSC SEC. R311 AND R312. A HANDRAIL IS REQUIRED AT EVERY STAIR OF 3 OR MORE RISERS. PROVIDED A 1 1/2" DIA. RAIL WITH 1 1/2" MIN. BETWEEN HANDRAIL AND WALL AND MOUNTED AT 38" TO 42" ABOVE THE TREAD NOSING. ORSC R311.1. HANDRAILS WHICH FUNCTION AS GUARDS SHALL BE 34"-38" ABOVE THE TREAD NOSING, ORSC R311.1.3.
- PROVIDE 110 V INTERCONNECTED SMOKE DETECTORS/CARBON MONOXIDE ALARMS WITH BATTERY BACKUP AT ALL FLOOR LEVELS, ORSC SEC. R314 & R315. SMOKE DETECTORS/CARBON MONOXIDE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- ALL BATHROOMS TO HAVE EXHAUST FAN TO EXTERIOR (80 CFM FOR BATHING FACILITIES/ 50 CFM FOR TOILET AND LAVATORY). EXHAUSTS CONTROLLED BY A DE-HUMIDISTAT, TIMER OR SIMILAR AUTO. CONTROL.
- ALL GYP. BD. WALLS TO HAVE A SMOOTH FINISH (LEVEL 4), UNLESS NOTED OTHERWISE.
- GLAZING SHALL BE INSTALLED AS REQ'D BY ORSC SEC. R308. ALL WINDOWS TO MEET CLASS U0.30. ALL EXTERIOR DOORS OTHER THAN THE MAIN ENTRY TO MEET CLASS U0.20. ENTRY DOOR TO HAVE A U-1.4 W/ A MAX. AREA OF 24 SQ. FT.
- PROVIDE CARBON MONOXIDE DETECTOR INSIDE OF DOOR TO THE HOUSE FROM THE GARAGE.
- 1/2" GYP. BOARD IS REQ'D AT THE SEPARATION WALL BETWEEN GARAGE AND RESIDENCE, ORSC R302.6.
- A 1-1/2" MIN. SOLID CORE DOOR OR A 20-MINUTE RATED FIRE DOOR IS REQUIRED AT THE SEPARATION WALL BETWEEN GARAGE AND RESIDENCE, ORSC R302.5.1.
- MIN. 5/8" TYPE-X GYP. BOARD IS REQ'D ON THE GARAGE CEILING AND ALL SUPPORTING WALLS WHEN LIVING AREAS ARE ABOVE. WRAP ALL BEAMS AND SUPPORTING POSTS, ORSC TABLE R302.6.
- EXTERIOR POSTS SHALL BE APPROVED DECAY-RESISTANT OR PRESSURE-TREATED WOOD, SHALL PROJECT 2" MIN. ABOVE GRADE AND BE SEPARATED THERE BY AN IMPERVIOUS MOISTURE BARRIER, ORSC R311.4.
- PRE-FAB FIREPLACES OR WOOD STOVES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, ORSC R100.4.
- CHIMNEYS ON FORESTED LAND SHALL INCLUDE SPARK ARRESTORS, ORSC R100.3.5.2.
- COMBUSTION AIR IS REQUIRED FOR ALL GAS OR OIL FIRED APPLIANCES PER ORSC CHPT 17.
- A 2"-0" MIN. DOOR WIDTH IS REQ'D AT WATER HEATERS, ORSC P210.0.
- A NON-REMOVABLE BACKFLOW PREVENTION DEVICE IS REQUIRED ON ALL EXTERIOR HOSE BIBS. OFSC P220.3.5.2.
- THE MAXIMUM AMOUNT OF WATER USED BY NEW PLUMBING FIXTURES MAY NOT EXCEED THE FOLLOWING: TOILETS, 1.6 GAL. PER FLUSH; ORSC P210.0.2.
- SHOWERS MUST BE A MINIMUM OF 10.24 SQ. IN. AND SHALL BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. OFSC R307.1.

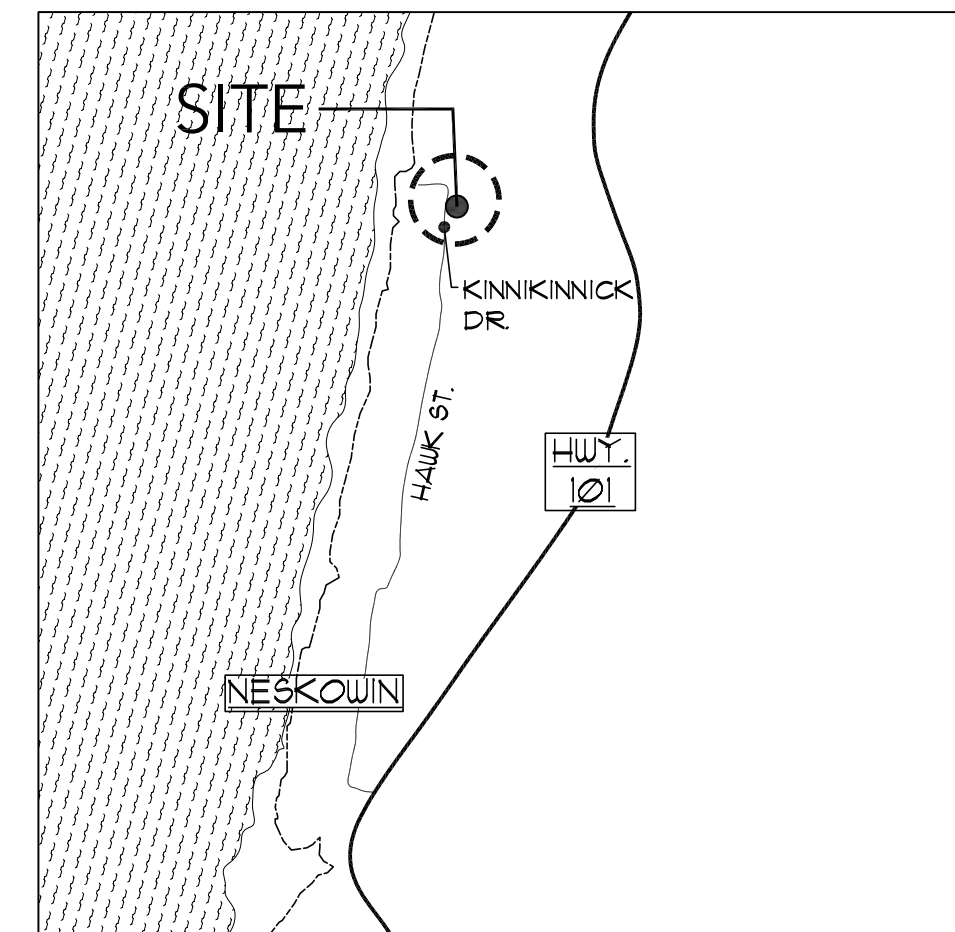
### FRAMING PLAN NOTES

- SHEAR WALLS ARE INDICATED BY DASHED LINE (---) ALONG LENGTH OF WALL.
- ALL REFERENCES TO METAL FRAMING CONNECTORS AND ACCESSORIES REFER TO 'SIMPSON' PRODUCTS. INSTALL PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
- PROVIDE FASTENERS AS PER FASTENER SCHEDULE, ORSC TABLE R602.3(1) UNLESS SPECIFIED DIFFERENTLY ON DRAWINGS AND SHEAR WALL SCHEDULE. STAPLES NOT PERMITTED IN O.S.B. SHEATHING.
- DRILLING AND NOTCHING OF STRUCTURAL MEMBERS TO BE IN ACCORDANCE WITH ORSC R502.2, R602.6, AND R602.6.1.
- CONTRACTOR IS REQUIRED TO SUBMIT MANUFACTURER'S ROOF TRUSS DETAILS, IF APPLICABLE, TO BUILDING DEPARTMENT FOR APPROVAL PRIOR TO ROOF CONSTRUCTION. SUBMIT 3 SETS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
- COLUMNS AND POSTS SHALL BE ADEQUATELY ANCHORED TO PREVENT LATERAL DISPLACEMENT, ORSC R401.3.
- EXTERIOR DECK SHALL BE CONSTRUCTED WITH NATURALLY DURABLE OR PRESSURE-TREATED WOOD, ORSC 311.4.
- EACH END OF EACH HEADER TO BE SUPPORTED WITH (1) KING STUD AND (1) TRIM STUD NAIL LAMINATED UNLESS NOTED OTHERWISE.
- EACH POST/COLUMN TO BE CONTINUOUS TO FOUNDATION UNLESS SUPPORTED BY BEAM/HEADER.

### FOUNDATION NOTES

- ALL WORK TO MEET APPLICABLE LOCAL & STATE BLDG CODES.
- CONTRACTOR, ARCHITECT AND CONCRETE SUBCONTRACTOR SHALL HAVE A PRE-CONST. MEETING PRIOR TO THE START OF CONCRETE WORK.
- ALL REFERENCES TO METAL FRAMING CONNECTORS & ACCESSORIES REFER TO 'SIMPSON' PRODUCTS. INSTALL PER MFG'S INSTALLATION RECOMMENDATIONS.
- ALL WOOD IN CONTACT W/ CONCRETE TO BE PRESURE TREATED MATERIAL (P.T.) OR END GRADE REDWOOD, ORSC SEC. 311.
- CONTRACTOR SHALL COORDINATE CONCRETE WORK W/ ALL OTHER TRADES.
- ASSUME 8000 P.S.F. SOIL BEARING CAPACITY.
- END BOLTS SHALL BE NOT LESS THAN 1/2" DIA. STEEL BOLTS EMBEDDED AT LEAST 1" INTO CONC & 18" INTO MASONRY. SPACED A MAX. OF 6'-0" O.C. W/ AT LEAST 2 BOLTS PER PLATE OR SILL. 4 1/2" BOLT WITHIN 12" OF ENDS & CORNERS, ORSC R403.1.6.
- END DRAINAGE SHALL BE PROVIDED AROUND END'S ENCLOSING HABITABLE OR USABLE SPACE BELOW GRADE, ORSC R405.1. SUB SURFACE END DRAINS SHALL BE CARRIED TO APPROVED DISPOSAL AREA OF CITY STORM SEWER.
- TYP. CONC. FLR. SLAB: 4" THICK CONC. SLAB W/ 4 # 24" O.C. EA. WAY, AT 1/4" CLR. TOP SURFACE PLACE SLAB ON VAPOR BARRIER OVER COMPACTED GRANULAR BASE PER SPEC'S. PROVIDE CONTROL JOINTS PER DETAILS AT 20' MAX. SPACING.
- HOLD-DOWN LOCATIONS INDICATED TO BE COORD. BY G.C. IN REGARD TO PLACEMENT IN CONC. W/FRAMING. LOCATION TO BE COORD. W/ WIND. RO.
- MARK OUT PROPERTY LINES BEFORE CALLING FOR END DRAINS.
- END WALLS SHALL EXTEND A MIN. OF 6" ABOVE THE FIN. GRADE ADJ TO THE END AT ALL POINTS, ORSC R404.1.6.
- A GROUNDING ELECTRODE AT ELEC. SERVICE IS REQ'D, CONSISTING OF (OR CONNECTED TO) A MIN. 20' LENGTH OF 1/2" DIA. STEEL REIN. OF FTGS, ORSC SEC. E35-250. ELECTRODE SHALL EXTEND 12" MIN. ABOVE THE PLATE LINE.

# VICINITY MAP



# LEGAL DESCRIPTION

|                          |   |
|--------------------------|---|
| <b>LEGAL DESCRIPTION</b> |   |
| <b>ADDRESS:</b>          | 49555 KINNIKINNICK DR, NESKOWIN, OR 97149 |
| <b>JURISDICTION:</b>     | UNINCORPORATED TILLAMOOK COUNTY           |
| <b>TAX ACCOUNT #:</b>    | 257616                                    |
| <b>STATE ID#:</b>        | 591124BD03500                             |
| <b>LOT AREA:</b>         | 12,841 SQ. FT., 0.30 ACRES                |
| <b>ZONING:</b>           | NEK-R1                                    |

# PROJECT TEAM

### PROJECT TEAM INFORMATION

|                    |  |
|--------------------|--|
| <b>STRUCTURAL:</b> | VISTA STRUCTURAL ENGINEERING, LLC<br>1418 NW DELIA STREET<br>PORTLAND, OR 97229<br>503-517-5932<br>CONTACT: MARSHALL STOKES<br>EMAIL: MARSHALL@VISTASTRUCTURAL.COM |
| <b>CONTRACTOR:</b> | WAND CONSTRUCTION, LLC<br>2180 NE REEF AVE.<br>LINCOLN CITY, OR 97136<br>541-201-4034<br>CONTACT: EMILE WAND<br>EMAIL: WANDCONSTRUCTION@YAHOO.COM                  |
| <b>SURVEYOR:</b>   | DAVID LOOMIS SURVEYING<br>459 PIONEER MOUNTAIN LOOP<br>TOLEDO, OR 97131<br>541-336-2994<br>CONTACT: DAVID LOOMIS<br>EMAIL: DAVE@LOOMISSURVEYING.COM                |
| <b>OWNER:</b>      | RON & LYNE SAXTON<br>2015 SE COLUMBIA RIVER DRIVE, UNIT 240<br>VANCOUVER, WA 98661<br>503-201-0894<br>CONTACT: LYNE SAXTON<br>EMAIL: LYNESAXTON@GMAIL.COM          |



**SAXTON RESIDENCE**  
49555 KINNIKINNICK DR.  
NESKOWIN, OR 97149

### SHEET INDEX

|      |                                   |
|------|-----------------------------------|
| A1   | TITLE SHEET, SHEET INDEX          |
| A2   | SITE SURVEY                       |
| A3   | SITE PLAN                         |
| A3.1 | EXISTING SITE PLAN & PHOTOS       |
| A4   | FLOOR PLANS                       |
| A5   | ROOF PLAN                         |
| A6   | BUILDING ELEVATIONS               |
| A7   | BUILDING ELEVATIONS               |
| A8   | BUILDING SECTIONS                 |
| A9   | ARCHITECTURAL DETAILS & SCHEDULES |
| I1   | INTERIOR ELEVATIONS               |
| I2   | INTERIOR ELEVATIONS               |
| E1   | ELECTRICAL PLANS                  |

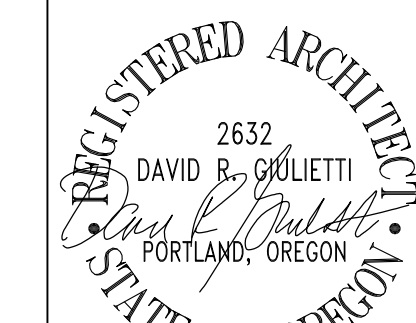


2800 NW THURMAN STREET, PORTLAND, OR 97210  
TEL: +1 503 223 0325 WWW.GSWARCHITECTS.NET

### PERMIT SET

DRAWING TITLE  
**TITLE SHEET**  
**SHEET INDEX**

### DRAWING REVISIONS



DRAWING NO:

**A.1**

JOB NO: #202024

DATE: JUNE 29, 2021

SCALE:

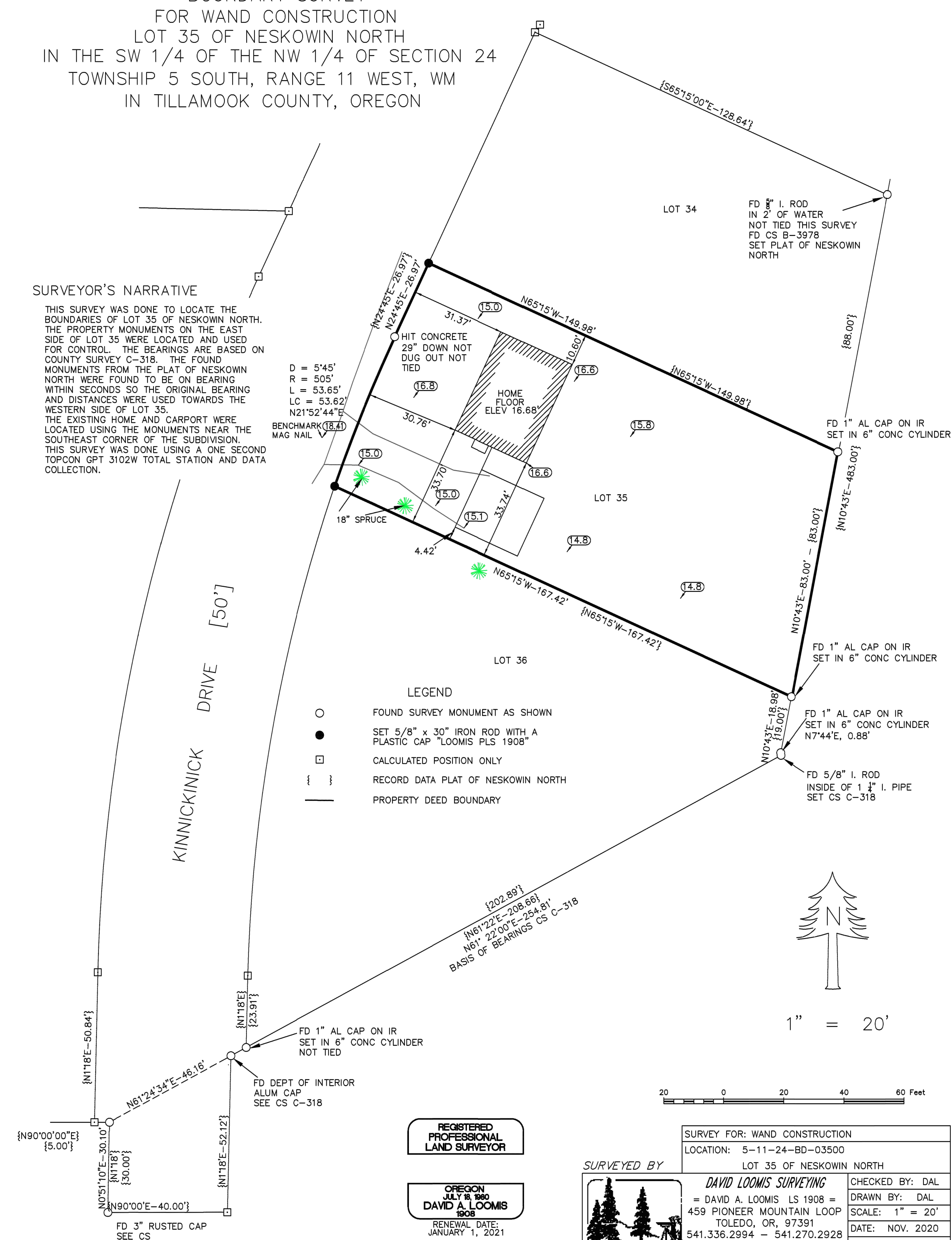
BOUNDARY SURVEY  
FOR WAND CONSTRUCTION  
LOT 35 OF NESKOWIN NORTH  
IN THE SW 1/4 OF THE NW 1/4 OF SECTION 24  
TOWNSHIP 5 SOUTH, RANGE 11 WEST, WM  
IN TILLAMOOK COUNTY, OREGON

SURVEYOR'S NARRATIVE

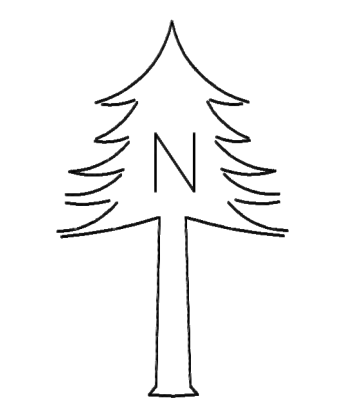
THIS SURVEY WAS DONE TO LOCATE THE BOUNDARIES OF LOT 35 OF NESKOWIN NORTH. THE PROPERTY MONUMENTS ON THE EAST SIDE OF LOT 35 WERE LOCATED AND USED FOR CONTROL. THE BEARINGS ARE BASED ON COUNTY SURVEY C-318. THE FOUND MONUMENTS FROM THE PLAT OF NESKOWIN NORTH WERE FOUND TO BE ON BEARING WITHIN SECONDS SO THE ORIGINAL BEARING AND DISTANCES WERE USED TOWARDS THE WESTERN SIDE OF LOT 35. THE EXISTING HOME AND CARPORT WERE LOCATED USING THE MONUMENTS NEAR THE SOUTHEAST CORNER OF THE SUBDIVISION. THIS SURVEY WAS DONE USING A ONE SECOND TOPCON GPT 3102W TOTAL STATION AND DATA COLLECTION.

D = 5'45"  
R = 505'  
L = 53.65'  
LC = 53.62'  
N21°52'44"E

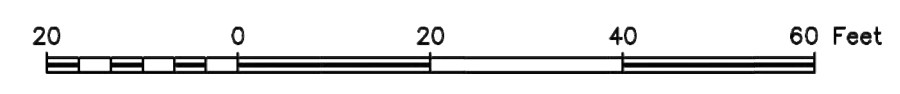
BENCHMARK (18.4)  
MAG NAIL



- LEGEND
- FOUND SURVEY MONUMENT AS SHOWN
  - SET 5/8" x 30" IRON ROD WITH A PLASTIC CAP "LOOMIS PLS 1908"
  - CALCULATED POSITION ONLY
  - { } RECORD DATA PLAT OF NESKOWIN NORTH
  - PROPERTY DEED BOUNDARY



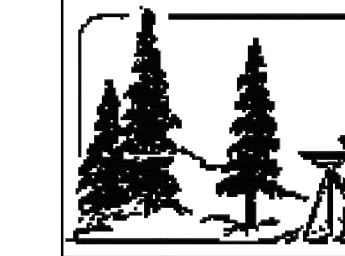
1" = 20'



REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON  
JULY 18, 1980  
DAVID A. LOOMIS  
1908  
RENEWAL DATE:  
JANUARY 1, 2021

SURVEYED BY



|                               |  |                 |
|-------------------------------|--|-----------------|
| SURVEY FOR: WAND CONSTRUCTION |  | CHECKED BY: DAL |
| LOCATION: 5-11-24-BD-03500    |  | DRAWN BY: DAL   |
| LOT 35 OF NESKOWIN NORTH      |  | SCALE: 1" = 20' |
| DAVID LOOMIS SURVEYING        |  | DATE: NOV. 2020 |
| = DAVID A. LOOMIS LS 1908 =   |  | No. D120-074    |
| 459 PIONEER MOUNTAIN LOOP     |  |                 |
| TOLEDO, OR, 97391             |  |                 |
| 541.336.2994 - 541.270.2928   |  |                 |
| FAX: 541.336.2994             |  |                 |

1 SITE SURVEY  
SCALE: 1" = 20'-0"



SAXTON RESIDENCE

45955 KINNICKINICK DR.  
NESKOWIN, OR 97149

SURVEY NOTES

1. THIS SURVEY WAS PREPARED BY DAVID LOOMIS SURVEYING. IT IS PROVIDED FOR THE CONTRACTORS REFERENCE. GIULIETTI/SCHOUTEN/WEBER AIA ARCHITECTS, P.C., ASSUMES NO RESPONSIBILITY FOR ACCURACY OF THIS SURVEY.



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PERMIT SET

DRAWING TITLE

SITE SURVEY

DRAWING REVISIONS

DRAWING NO:

A.2

JOB NO: #202024

DATE: JUNE 29, 2021

SCALE: 1" = 20'-0"

SAXTON RESIDENCE





**SAXTON RESIDENCE**

45955 KINNIKINNICK DR.  
NESKOWIN, OR 97149

**SITE PLAN NOTES**

1. THE CONTRACTOR SHOULD MAKE A FIRST HAND SITE VISIT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO START OF WORK.
2. SITE CLEARING TO BE COMPLETED UNDER BASIC CONSTRUCTION CONTRACT PRIOR TO START OF BUILDING CONSTRUCTION.
3. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES AND CONFIRM LOCATIONS OF METERS WITH UTILITY COMPANIES.
4. CONTRACTOR TO INSTALL A FILTER FABRIC SEDIMENT FENCE AROUND CONSTRUCTION ZONE AS NECESSARY TO PREVENT RUNOFF.
5. CONTRACTOR TO RESTORE SITE/LANDSCAPING BACK TO ITS ORIGINAL (PRE-CONSTRUCTION) CONDITION AFTER CONSTRUCTION WORK IS COMPLETE.
6. CONTRACTOR TO PROVIDE WORK BARRIERS OR SIGNS AS NECESSARY TO PREVENT TRAFFIC HAZARDS.
7. CONTRACTOR TO COORDINATE WITH TILLAMOOK COUNTY AND CONFORM WITH ANY STREET CLEAN UP REQUIREMENTS AFTER WORK HOURS.

**LOT COVERAGE: WIDTH**

LOT WIDTH = 80'-6 1/2" = 56'-4" MAX = 70%  
EXISTING LOT COVG WIDTH = 65'-4" = 81%  
PROPOSED LOT COVG WIDTH = 65'-4" = 81%

**LOT COVERAGE: LENGTH**

LOT LENGTH = 149.98' = 105' MAX = 70%  
EXISTING LOT COVG LENGTH = 50'-9 3/8" = 33.9%  
PROPOSED LOT COVG LENGTH = 59'-2 1/4" = 39.5%



Giulietti  
Schouten  
Weber  
ARCHITECTS

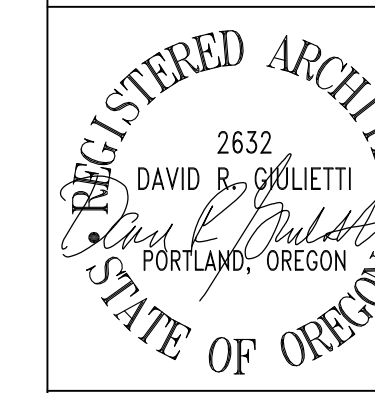
2800 NW THURMAN STREET, PORTLAND, OR 97210  
TEL: +1 503 223 0325 WWW.GSWARCHITECTS.NET

**PERMIT SET**

DRAWING TITLE

**SITE PLAN**

DRAWING REVISIONS



DRAWING NO:

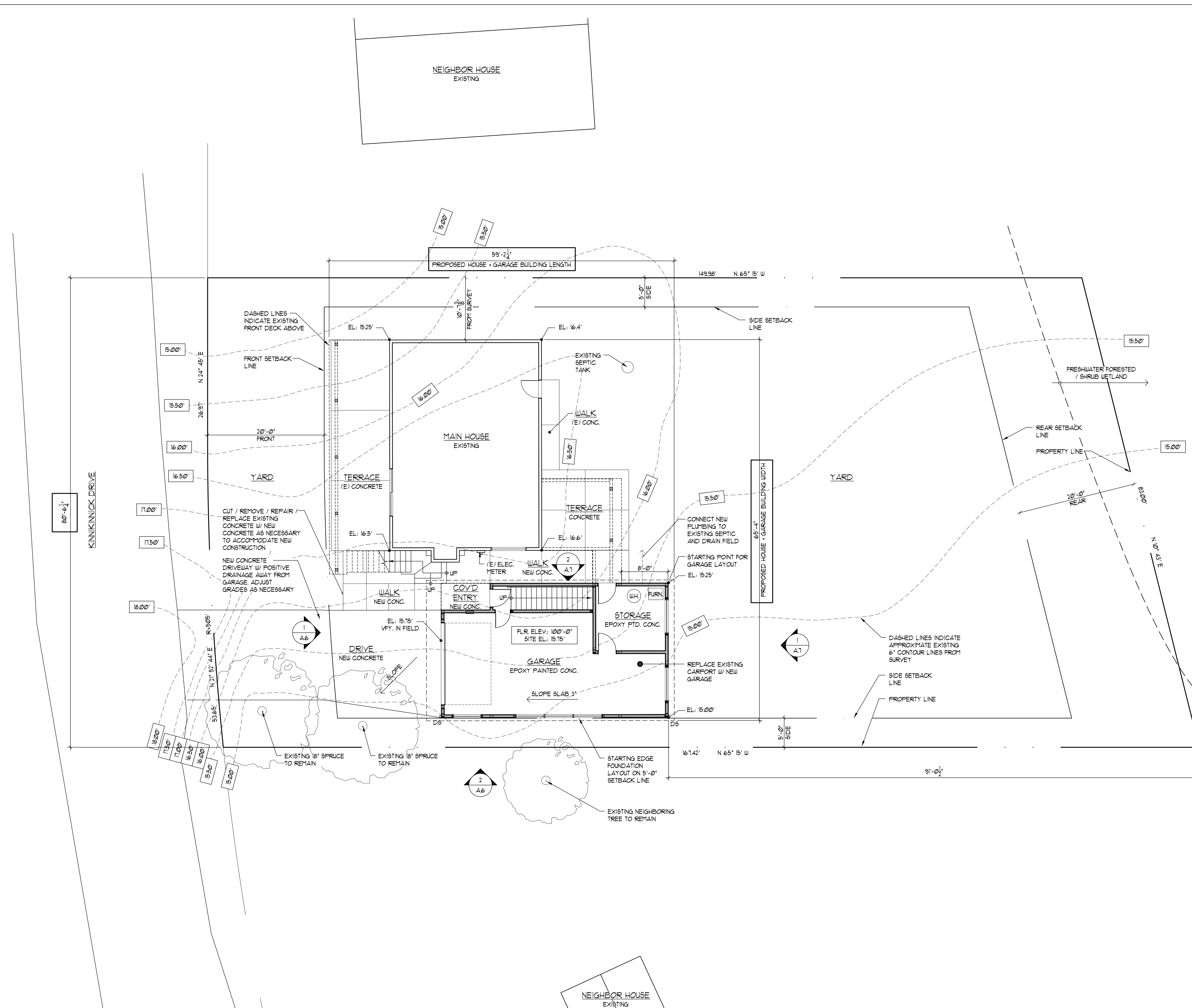
**A.3**

JOB NO: #202024

DATE: JUNE 29, 2021

SCALE: 1/8" = 1'-0"

SAXTON RESIDENCE



**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"



2 EXISTING HOUSE



3 EXISTING CARPORT



4 EXISTING CARPORT TO HOUSE CONNECTION



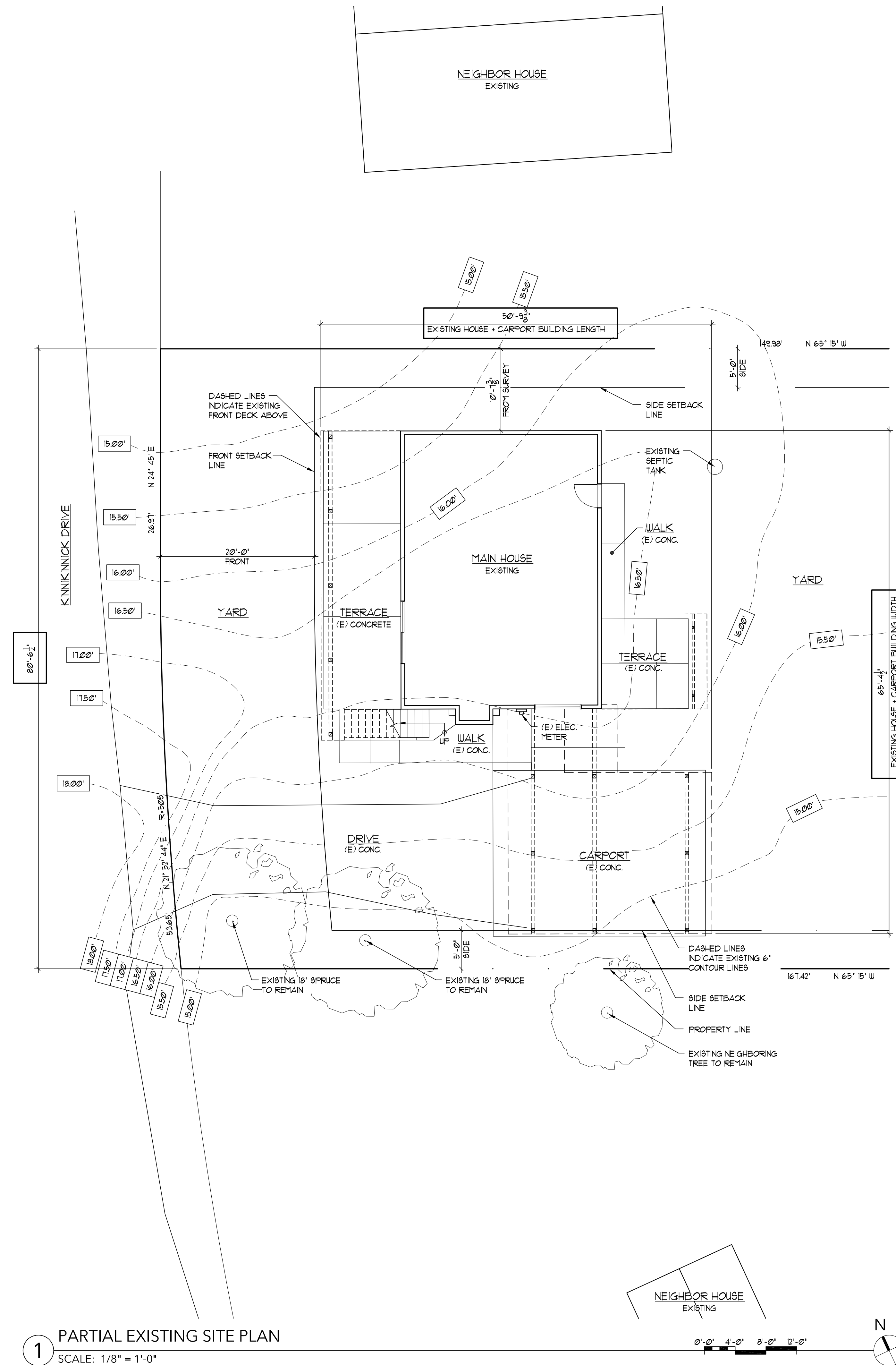
5 EXISTING DRIVE TO CARPORT



6 EXISTING CARPORT - REAR



7 EXISTING CARPORT - FRONT



1 PARTIAL EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



SAXTON RESIDENCE

45955 KINNIKINNICK DR.  
NESKOWIN, OR 97149

SITE PLAN NOTES

- 1. THE CONTRACTOR SHOULD MAKE A FIRST HAND SITE VISIT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO START OF WORK.
- 2. SITE CLEARING TO BE COMPLETED UNDER BASIC CONSTRUCTION CONTRACT PRIOR TO START OF BUILDING CONSTRUCTION.
- 3. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES AND CONFIRM LOCATION OF METERS WITH UTILITY COMPANIES.
- 4. CONTRACTOR TO INSTALL A FILTER FABRIC SEDIMENT FENCE AROUND CONSTRUCTION ZONE AS NECESSARY TO PREVENT RUNOFF.
- 5. CONTRACTOR TO RESTORE SITE/LANDSCAPING BACK TO ITS ORIGINAL (PRE-CONSTRUCTION) CONDITION AFTER CONSTRUCTION WORK IS COMPLETE.
- 6. CONTRACTOR TO PROVIDE WORK BARRIERS OR SIGNS AS NECESSARY TO PREVENT TRAFFIC HAZARDS.
- 7. CONTRACTOR TO COORDINATE WITH TILLAMOOK COUNTY AND CONFORM WITH ANY STREET CLEAN UP REQUIREMENTS AFTER WORK HOURS.

EXISTING PLAN NOTES

- 1. EXISTING PLANS ARE PROVIDED FOR THE CONTRACTOR'S REFERENCE. THE CONTRACTOR SHALL VISIT THE SITE AND MAKE FIRST HAND INSPECTION OF THE PREMISES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

EXISTING PHOTOS

- 1. EXISTING PHOTOS ARE PROVIDED FOR THE CONTRACTOR'S REFERENCE. THE CONTRACTOR SHALL VISIT THE SITE AND MAKE FIRST HAND INSPECTION OF THE PREMISES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

LOT COVERAGE: WIDTH

|                                   |     |        |           |
|-----------------------------------|-----|--------|-----------|
| LOT WIDTH = 80'-6"                | 10' | 56'-4" | MAX = 10% |
| EXISTING LOT COV'G WIDTH = 68'-4" | 8'  | 65'-4" | = 81%     |
| PROPOSED LOT COV'G WIDTH = 68'-4" | 8'  | 65'-4" | = 81%     |

LOT COVERAGE: LENGTH

|                                    |     |        |           |
|------------------------------------|-----|--------|-----------|
| LOT LENGTH = 149.98'               | 10' | 105'   | MAX = 10% |
| EXISTING LOT COV'G LENGTH = 50'-9" | 8'  | 59'-2" | = 33.9%   |
| PROPOSED LOT COV'G LENGTH = 59'-2" | 8'  | 59'-2" | = 39.5%   |

GSW  
Giulietti  
Schouten  
Weber  
ARCHITECTS

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TEL: +1 503 223 0325 WWW.GSWARCHITECTS.NET

PERMIT SET

DRAWING TITLE  
**EXISTING SITE PLAN &  
EXISTING PHOTOS**

DRAWING REVISIONS

REGISTERED ARCHITECT  
STATE OF OREGON  
DAVID R. GIULIETTI  
2632  
Portland, Oregon

DRAWING NO:  
**A.3.1**  
JOB NO: #202024

DATE: JUNE 29, 2021 SCALE: 1/8" = 1'-0"

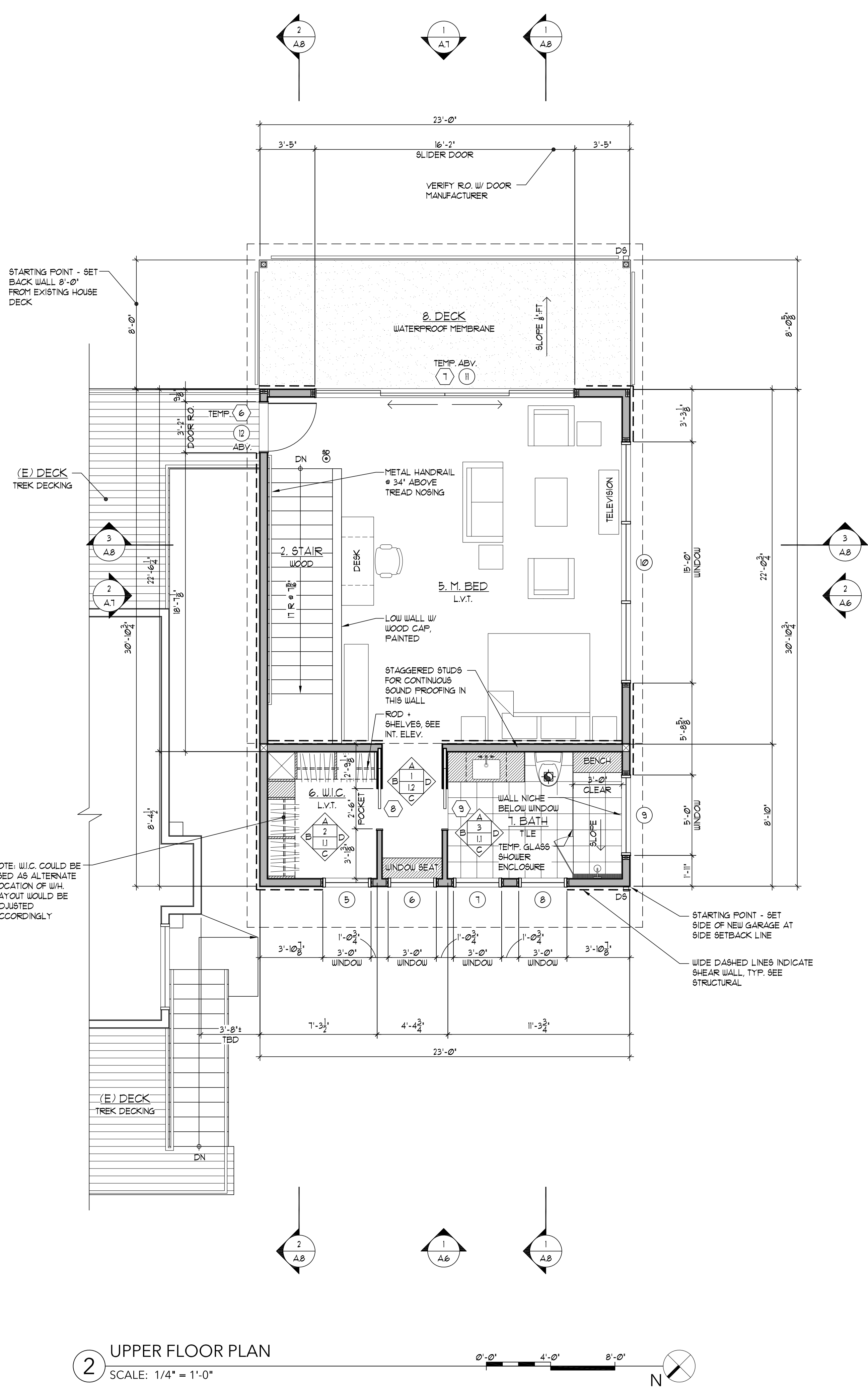
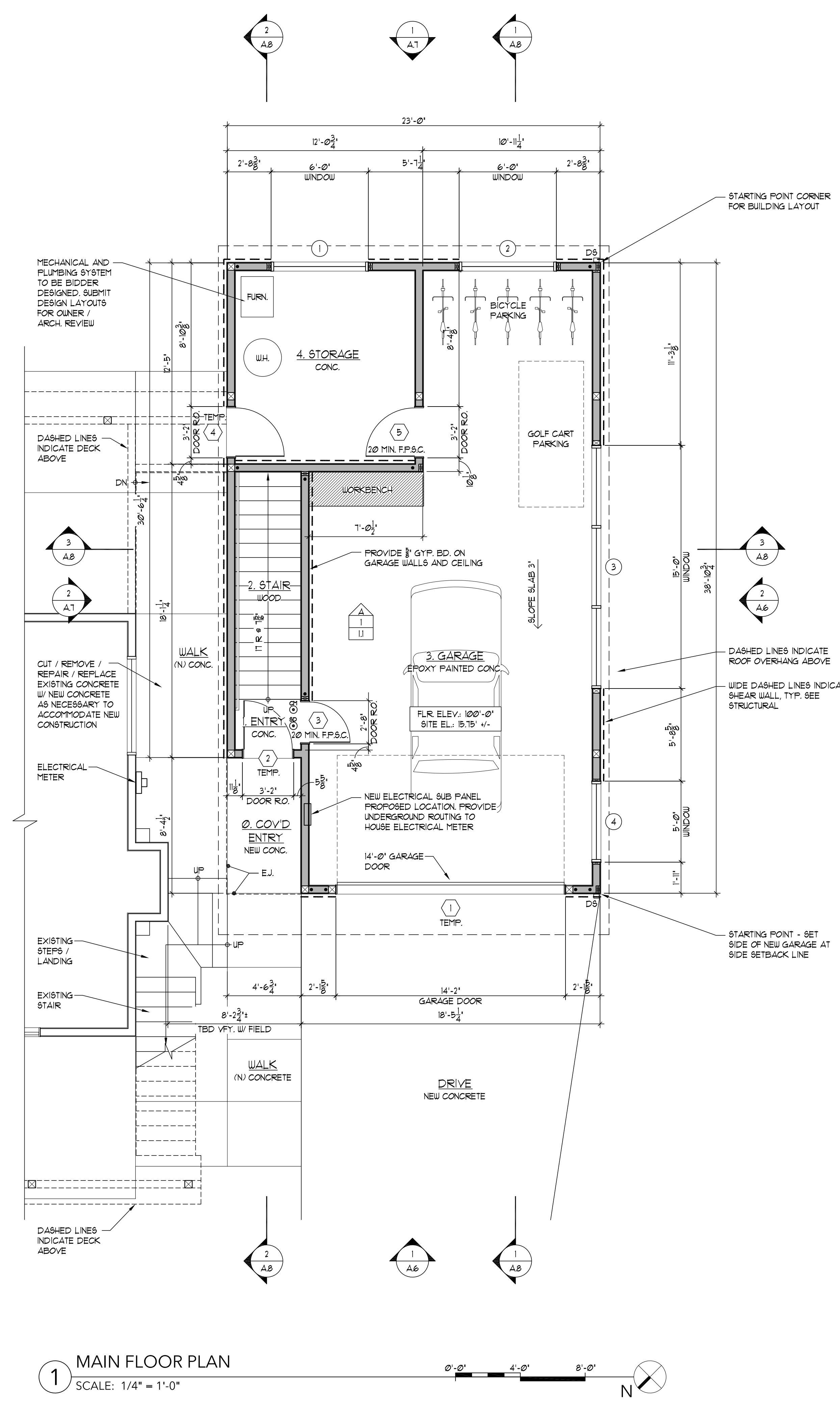


# SAXTON RESIDENCE

45955 KINNIKINNICK DR.  
NESKOWIN, OR 97149

## FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.) UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO USE 2X6 WOOD STUDS 16" O.C. UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS TO BE 2X4 WOOD STUDS 16" O.C. UNLESS NOTED OTHERWISE.
- ALL SLEEPING ROOMS SHALL BE PROVIDED WITH EMERGENCY EGRESS OPENINGS, ORSC SEC. R310. CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SLEEPING ROOMS TO BE PROVIDED WITH EGRESS WINDOW WHETHER OR NOT INDICATED ON DRAWINGS/SCHEDULE.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING TEMPERED GLASS IN ALL LOCATIONS AS REQUIRED BY CODE WHETHER OR NOT INDICATED AS TEMPERED ON DRAWINGS/SCHEDULE. SAFETY GLAZING SHALL BE PROVIDED IN ACCORDANCE WITH ORSC R308.4. AT TUBS OR SHOWERS WHERE THE GLAZING IS LESS THAN 60" ABOVE THE DRAIN, B. WITHIN 24" OF A DOOR AND LESS THAN 60" ABOVE THE FLOOR, C. PANES GREATER THAN 9 SQ. FT. AND LESS THAN 18" ABOVE THE FLOOR.
- ALL HANDRAILS AND GUARDRAILS SHALL MEET REQUIREMENTS OF ORSC SEC. R311 AND R312. A HANDRAIL IS REQUIRED AT EVERY STAIR OF 3 OR MORE RISERS. PROVIDED A 1 1/2" DIA. RAIL WITH 1 1/2" MIN. BETWEEN HANDRAIL AND WALL AND MOUNTED AT 30"-38" ABOVE THE TREAD NOSING, ORSC R311.1.1. HANDRAILS WHICH FUNCTION AS GUARDS SHALL BE 34"-38" ABOVE THE TREAD NOSING, ORSC R311.1.3.
- PROVIDE 10 V INTERCONNECTED SMOKE DETECTORS/CARBON MONOXIDE ALARMS WITH BATTERY BACKUP AT ALL FLOOR LEVELS, ORSC SEC. R314 & R315. SMOKE DETECTORS/CARBON MONOXIDE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- ALL BATHROOMS TO HAVE EXHAUST FAN TO EXTERIOR (80 CFM FOR BATHING FACILITIES/50 CFM FOR TOILET AND LAVATORY ONLY), ORSC R303.3 CONTROLLED BY A DE-HUMIDISTAT, TIMER OR SIMILAR AUTO. CONTROL.
- ALL GYP. BD. WALLS TO HAVE A SMOOTH FINISH (LEVEL 4), UNLESS NOTED OTHERWISE.
- GLAZING SHALL BE INSTALLED AS REQ'D BY ORSC SEC. R308. ALL WINDOWS TO MEET CLASS U-0.30. ALL EXTERIOR DOORS OTHER THAN THE MAIN ENTRY TO MEET CLASS U-0.30. ENTRY DOOR TO HAVE A U-1.54 W/ A MAX. AREA OF 24 SQ. FT.
- PROVIDE CARBON MONOXIDE DETECTOR INSIDE OF DOOR TO THE HOUSE FROM THE GARAGE.
- 1/2" GYP. BOARD IS REQ'D AT THE SEPARATION WALL BETWEEN GARAGE AND RESIDENCE, ORSC R302.6
- A 1-3/8" MIN. SOLID CORE DOOR OR A 20-MINUTE RATED FIRE DOOR IS REQUIRED AT THE SEPARATION WALL BETWEEN GARAGE AND RESIDENCE, ORSC R302.5.11.
- MIN. 5/8" TYPE-X GYP. BOARD IS REQ'D ON THE GARAGE CEILING AND ALL SUPPORTING WALLS WHEN LIVING AREAS ARE ABOVE.
- EXTERIOR POSTS SHALL BE APPROVED. DECAY-RESISTANT / PRESSURE-TREATED WOOD, SHALL PROJECT 2" MIN. ABOVE GRADE AND BE SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER, ORSC R311.4
- A 2'-0" MIN. DOOR WIDTH IS REQ'D AT WATER HEATERS, ORSC F210.2.
- THE MAXIMUM AMOUNT OF WATER USED BY NEW PLUMBING FIXTURES MAY NOT EXCEED THE FOLLOWING: TOILETS, 1.6 GAL. PER FLUSH; OPSC F210.2.
- SHOWERS MUST BE A MINIMUM OF 1024 SQ. IN. AND SHALL BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. OPSC R307.1.



Giulietti Schouten Weber  
ARCHITECTS

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## PERMIT SET

DRAWING TITLE

## FLOOR PLANS

DRAWING REVISIONS

DRAWING REVISIONS

DRAWING REVISIONS

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REGISTERED ARCHITECT  
DAVID R. GIULIETTI  
2632  
PORTLAND, OREGON  
STATE OF OREGON

DRAWING NO:  
**A.4**  
JOB NO: #202024

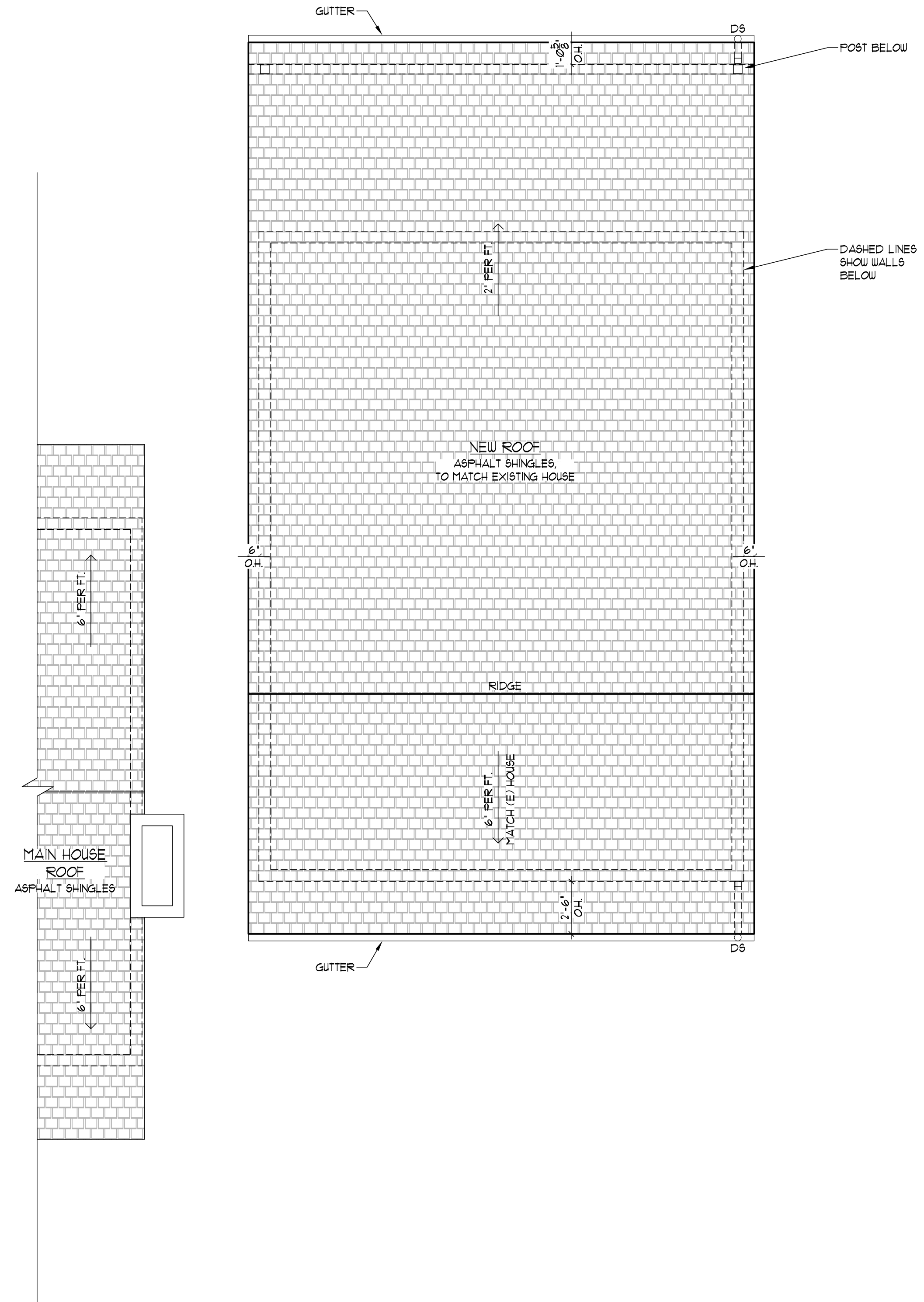
DATE: JUNE 29, 2021 SCALE: 1/4" = 1'-0"

SAXTON RESIDENCE

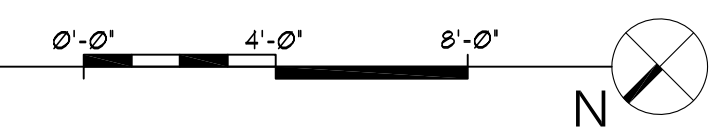


SAXTON RESIDENCE

45955 KINNIKINNICK DR.  
NESKOWIN, OR 97149



1 ROOF PLAN  
SCALE: 1/4" = 1'-0"



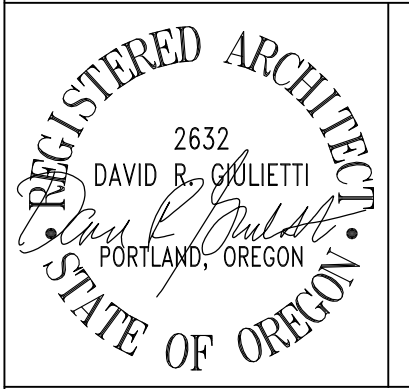
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PERMIT SET

DRAWING TITLE

ROOF PLAN

DRAWING REVISIONS



DRAWING NO:

A.5

JOB NO: #202024

DATE: JUNE 29, 2021

SCALE: 1/4" = 1'-0"

SAXTON RESIDENCE



# SAXTON RESIDENCE

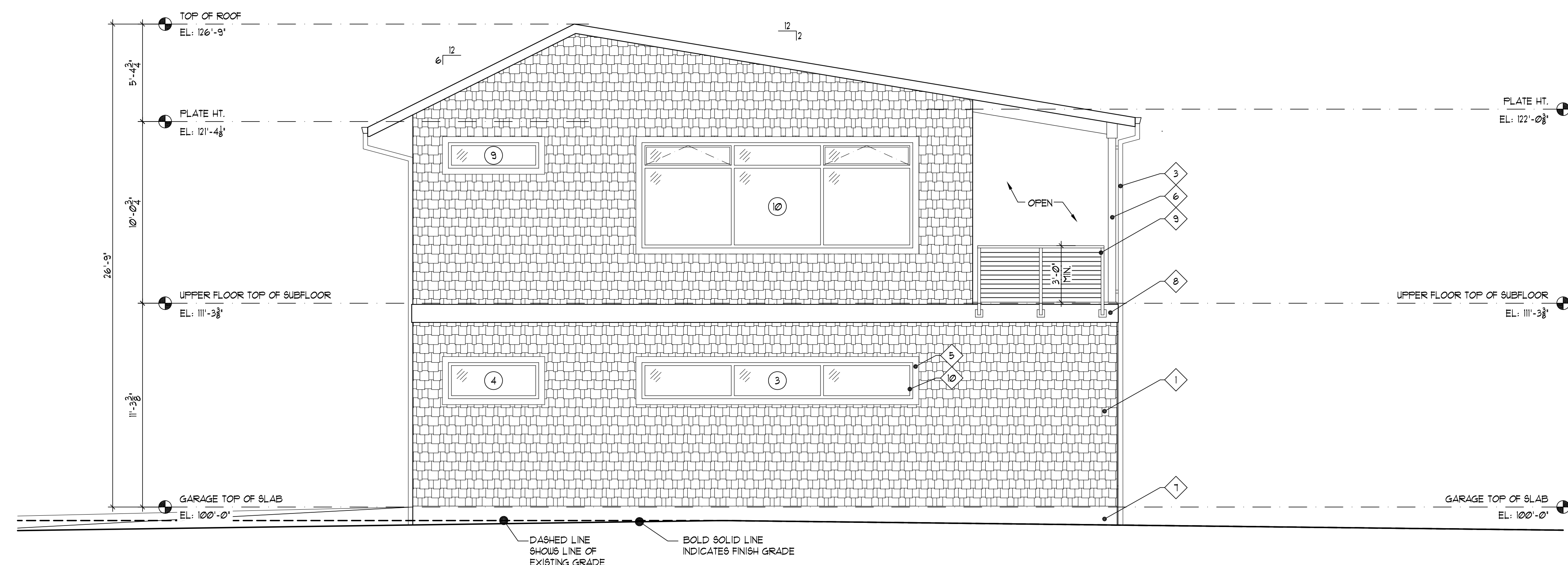
45955 KINNIKINNICK DR.  
NESKOWIN, OR 97149

## ELEVATION NOTES

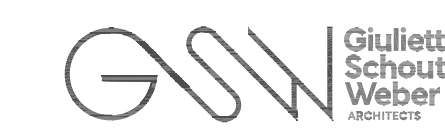
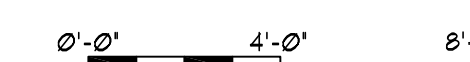
- 1 WOOD SHINGLE SIDING TO MATCH SIDING AT EXISTING HOUSE, STAINED.
- 2 FIBERGLASS BASE ASPHALT ROOF SHINGLES TO MATCH EXISTING HOUSE SHINGLES. 25 YEAR WARRANTY. COLOR TO BE SELECTED BY ARCHITECT OR TO MATCH EXISTING. PROVIDE 'ICE-WATER' SHIELD MEMBRANE 2:12 SIDE OF SLOPED ROOF.
- 3 PRIMED EXTRUDED GUTTERS AND DOWNSPOUTS. PAINTED TO MATCH FASCIA BOARDS. FASCIA BOARDS TO BE PAINTED PRIOR TO GUTTER INSTALLATION.
- 4 2X FASCIA BOARD, PAINTED TO MATCH FASCIAS AT EXISTING HOUSE.
- 5 DOOR OR WINDOW TRIM, WOOD PAINTED.
- 6 WOOD POST
- 7 CONCRETE. MAINTAIN MINIMUM 6' CLEARANCE FROM WOOD SIDING TO GRADE, TYPICAL.
- 8 2X CEDAR, PAINTED TRIM BOARD TO MATCH ACCENT COLOR OF HOUSE. EXTEND ONTO EXISTING REAR DECK FASCIA.
- 9 STAINLESS STEEL HANDRAILS AND GUARDRAILS
- 10 MILGARD FIBERGLASS WINDOW SYSTEM



1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



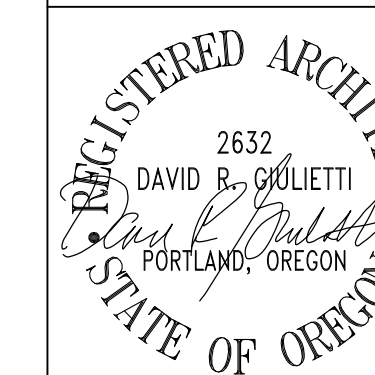
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## PERMIT SET

DRAWING TITLE

## BUILDING ELEVATIONS

DRAWING REVISIONS



DRAWING NO:

A.6

JOB NO: #202024

DATE: JUNE 29, 2021

SCALE: 1/4" = 1'-0"

SAXTON RESIDENCE

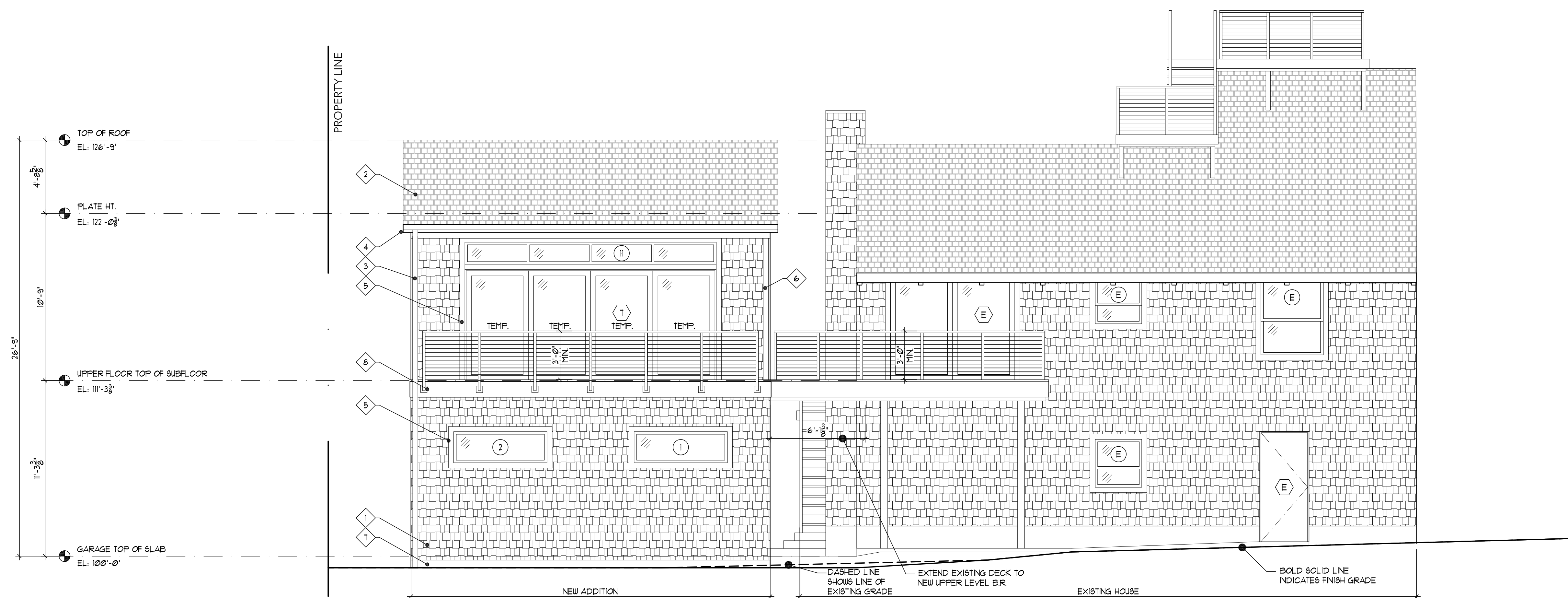


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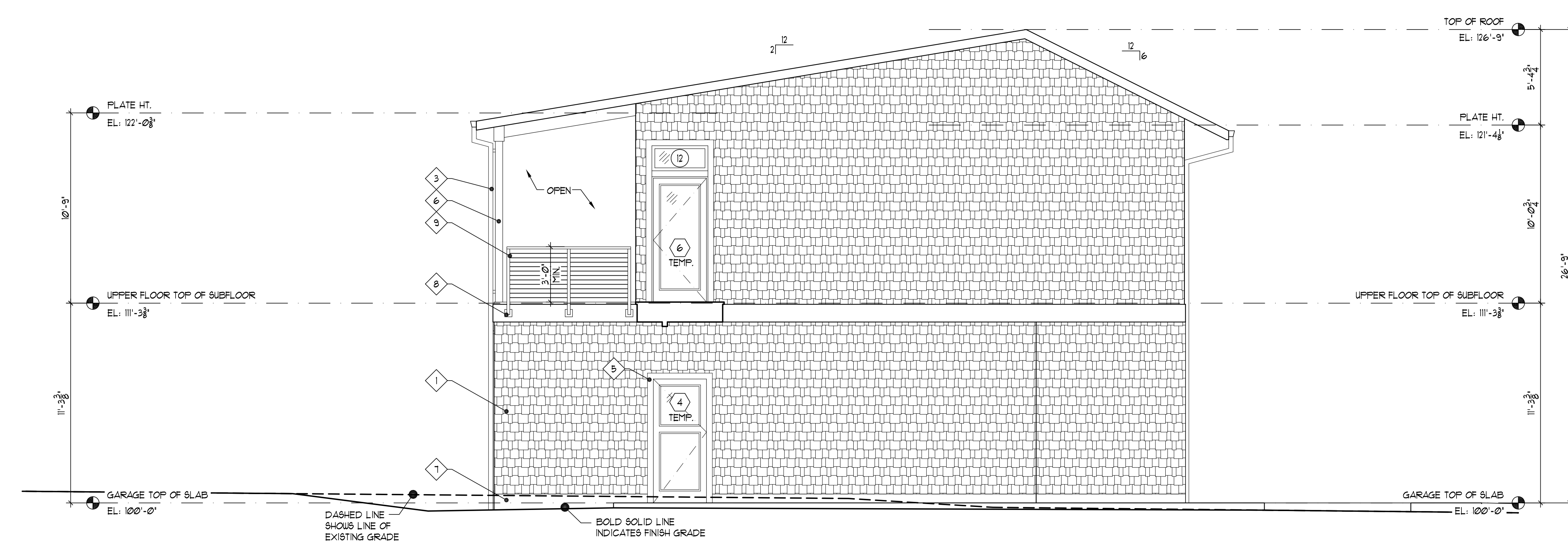
45955 KINNIKINNICK DR.  
NESKOWIN, OR 97149

## ELEVATION NOTES

- 1 WOOD SHINGLE SIDING TO MATCH SIDING AT EXISTING HOUSE, STAINED.
- 2 FIBERGLASS BASE ASPHALT ROOF SHINGLES TO MATCH EXISTING HOUSE SHINGLES. 25 YEAR WARRANTY. COLOR TO BE SELECTED BY ARCHITECT OR TO MATCH EXISTING. PROVIDE 'ICE-WATER' SHIELD MEMBRANE 2:12 SIDE OF SLOPED ROOF.
- 3 PRIMED EXTRUDED GUTTERS AND DOWNSPOUTS. PAINTED TO MATCH FASCIA BOARDS. FASCIA BOARDS TO BE PAINTED PRIOR TO GUTTER INSTALLATION.
- 4 2X FASCIA BOARD, PAINTED TO MATCH FASCIAS AT EXISTING HOUSE.
- 5 DOOR OR WINDOW TRIM, WOOD PAINTED.
- 6 WOOD POST
- 7 CONCRETE. MAINTAIN MINIMUM 6' CLEARANCE FROM WOOD SIDING TO GRADE, TYPICAL.
- 8 2X CEDAR, PAINTED TRIM BOARD TO MATCH ACCENT COLOR OF HOUSE. EXTEND ONTO EXISTING REAR DECK FASCIA.
- 9 STAINLESS STEEL HANDRAILS AND GUARDRAILS
- 10 MILGARD FIBERGLASS WINDOW SYSTEM



1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

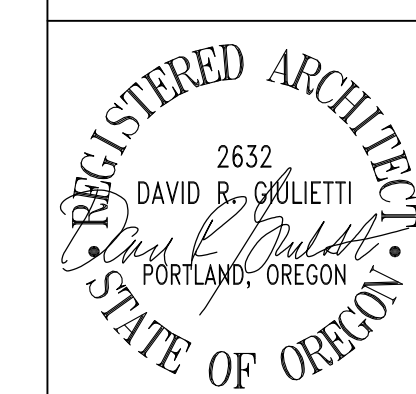


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## PERMIT SET

DRAWING TITLE  
**BUILDING ELEVATIONS**

DRAWING REVISIONS



DRAWING NO:

**A.7**

JOB NO: #202024

DATE: JUNE 29, 2021

SCALE: 1/4" = 1'-0"

SAXTON RESIDENCE

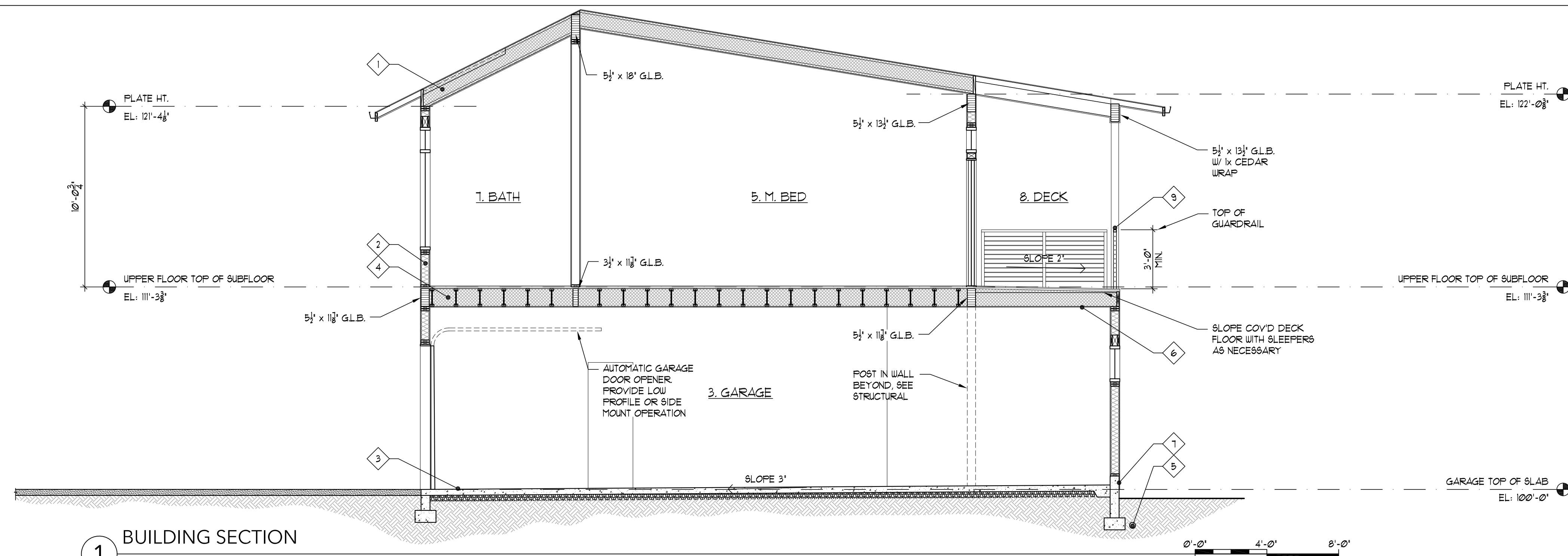


# SAXTON RESIDENCE

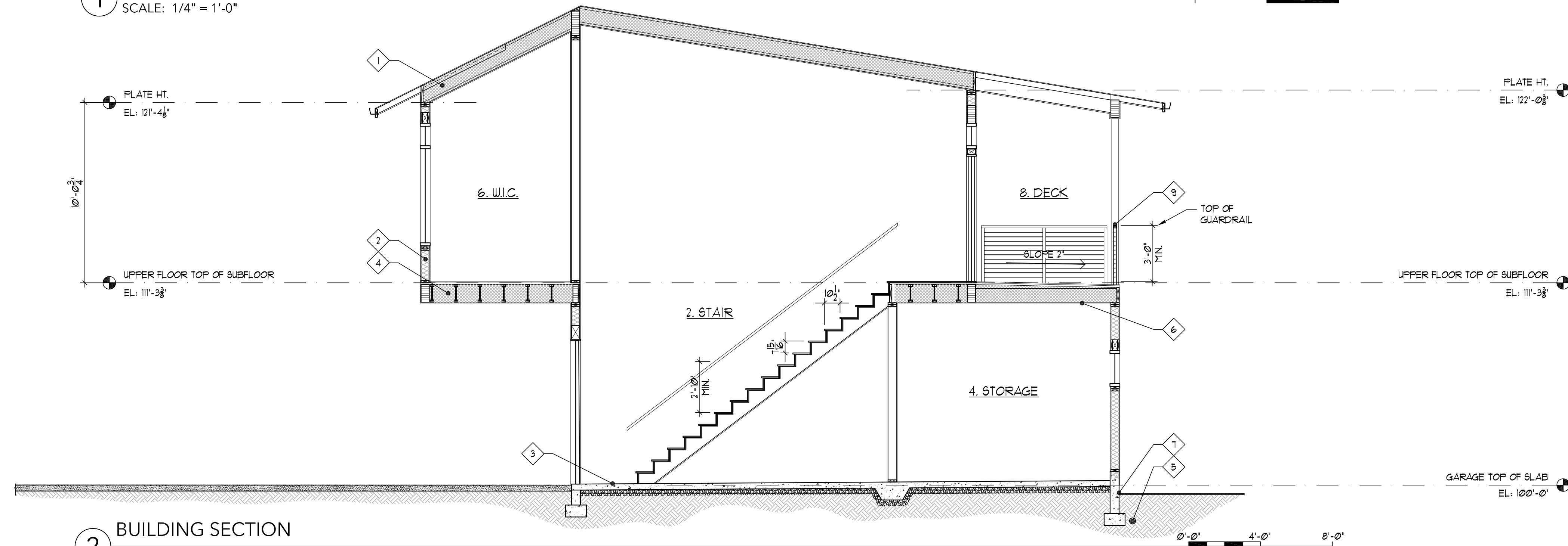
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## NOTES FOR SECTIONS

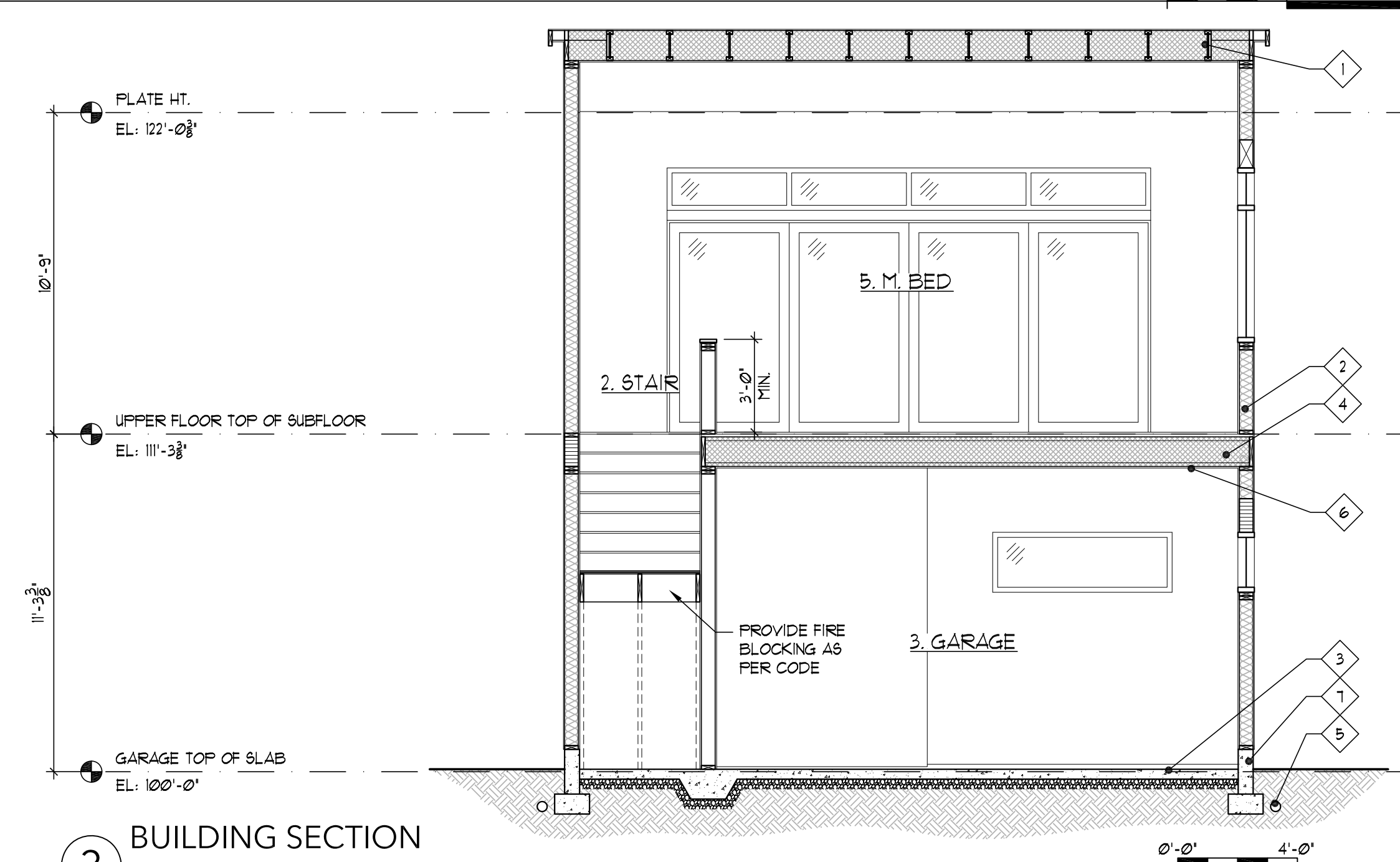
- 1 TYPICAL ROOF CONSTRUCTION:
  - FIBERGLASS BASED ASPHALT ROOF SHINGLES TO MATCH EXISTING.
  - 5/8" CDX PLYWOOD ROOF DECKING
  - TJI ROOF FRAMING SEE FRAMING PLANS FOR SIZE OF JOIST.
  - R - 38 MIN. SPRAYFOAM INSULATION
  - 1/2" GYPSUM BOARD
- 2 TYPICAL EXTERIOR WALL CONSTRUCTION:
  - WOOD CEDAR SHINGLE SIDING W/ STAIN, EXPOSURE TO MATCH EXISTING MAIN HOUSE SIDING.
  - WATERPROOF MEMBRANE, TBD.
  - 1/2" PLYWOOD SHEATHING
  - 2x6 WOOD STUDS @ 16" O.C.
  - R-21 MIN. SPRAYFOAM INSULATION
  - 1/2" GYPSUM BOARD, 5/8" IN GARAGE
- 3 TYPICAL GARAGE SLAB:
  - 4" THICK CONCRETE SLAB WITH 4" @ 24" O.C. EA. W/AY, AT 1/4" CLR. TOP SURFACE
  - PLACE SLAB ON VAPOR BARRIER OVER COMPACTED GRANULAR BASE PER SPEC'S. PROVIDE CONTROL JOINTS PER DETAILS AT 20' MAX. SPACING.
- 4 TYPICAL FLOOR CONSTRUCTION:
  - TJI FLOOR JOIST, SEE STRUCTURAL FOR SIZE AND SPACING
  - ACOUSTICAL INSULATION
  - 1 1/2" PLYWOOD SHEATHING
  - 1/2" APA UNDERLAYMENT W/SANDED SURFACE AT VINYL FLOORS
  - TILE OR L.V.T. SEE FINISH SCHEDULE
- 5 4" ABS PERFORATED FOUNDATION DRAIN WITH FABRIC OVERLAY. DIRECT TO DAYLIGHT AT LANDSCAPING AS PER COUNTY INSTRUCTIONS.
- 6 MINIMUM 5/8" TYPE X GYP. BOARD IS REQUIRED ON THE GARAGE CEILING AND ALL SUPPORTING WALLS WHEN LIVING AREAS ARE ABOVE. WRAP ALL BEAMS AND SUPPORTING POSTS, ORSC R302.6.
- 7 FOUNDATION WALLS SHALL EXTEND A MINIMUM OF 6" ABOVE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS, IRC R404.16.
- 8 5" CONTINUOUS PREFINISHED METAL GUTTER WITH LEAF GUARD COVER.
- 9 WOOD CABLE GUARDRAIL.



1 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION  
SCALE: 1/4" = 1'-0"

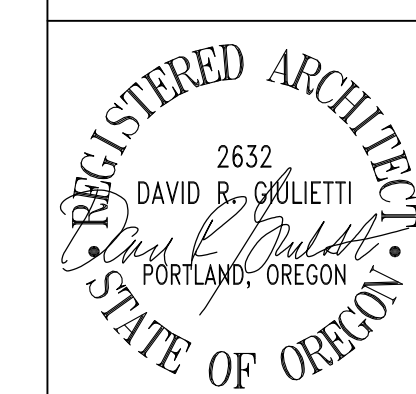


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## PERMIT SET

## DRAWING TITLE BUILDING SECTIONS

DRAWING REVISIONS



DRAWING NO:  
**A.8**  
JOB NO: #202024

DATE: JUNE 29, 2021 SCALE: 1/4" = 1'-0"

SAXTON RESIDENCE