



VARIANCE REQUEST #851-23-000562-PLNG:

Peters/Batcheler/Gauen

*NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:
ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,
IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER*

NOTICE OF ADMINISTRATIVE REVIEW

Date of Notice: March 29, 2024

Notice is hereby given that the Tillamook County Department of Community Development is considering the following:

#851-23-000562-PLNG: A Variance request to increase the allowed driveway width of 25-percent of the street frontage of the lot to 42.6-percent and increase the allowed building width of 70-percent at all points to 77.1-percent, to allow for the placement of a residential structure and improve its driveway/access. The subject property is located in the Unincorporated Community of Neskowin, accessed via Hillcrest Road, a private road, zoned Neskowin Low Density Residential (NeskR-1) Zone and designated as Tax Lot 600 of Section 36BC, Township 5 South, Range 11 West, W.M., Tillamook County, Oregon. The applicant is Lydia Peters of Nathan Good Architects, and property owners are Brian Batchelder and Suzanne Gauen.

Written comments received by the Department of Community Development prior to 4:00 p.m. on April 12, 2024, will be considered in rendering a decision. Comments should address the criteria upon which the Department must base its decision. A decision will be rendered no sooner than the next business day, April 15, 2024.

Notice of the application, a map of the subject area, and the applicable criteria are being mailed to all property owners within 250 feet of the exterior boundaries of the subject parcel for which an application has been made and other appropriate agencies at least 14 days prior to this Department rendering a decision on the request.

A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141. They are also available on the Tillamook County Department of Community Development website: <https://www.tillamookcounty.gov/commdev/landuseapps>.

If you have any questions about this application, please contact the Department of Community Development at (503) 842-3408 ext. 3412 or by contacting Lynn Tone, DCD Office Specialist, at lynn.tone@tillamookcounty.gov.

Sincerely,

Melissa Jenck, CFM, Senior Planner

Sarah Absher, CBO, CFM, Director

Enc. Maps and applicable ordinance criteria

REVIEW CRITERIA

ARTICLE VIII - VARIANCE PROCEDURES AND CRITERIA

SECTION 8.030: REVIEW CRITERIA: A VARIANCE shall be granted, according to the procedures set forth in Section 8.020, if the applicant adequately demonstrates that the proposed VARIANCE satisfies all of the following criteria:

- (1) Circumstances attributable either to the dimensional, topographic, or hazardous characteristics of a legally existing lot, or to the placement of structures thereupon, would effectively preclude the enjoyment of a substantial property right enjoyed by the majority of landowners in the vicinity, if all applicable standards were to be met. Such circumstances may not be self-created.
- (2) A VARIANCE is necessary to accommodate a use or accessory use on the parcel which can be reasonably expected to occur within the zone or vicinity.
- (3) The proposed VARIANCE will comply with the purposes of relevant development standards as enumerated in Section 4.005 and will preserve the right of adjoining property owners to use and enjoy their land for legal purposes.
- (4) There are no reasonable alternatives requiring either a lesser or no VARIANCE.

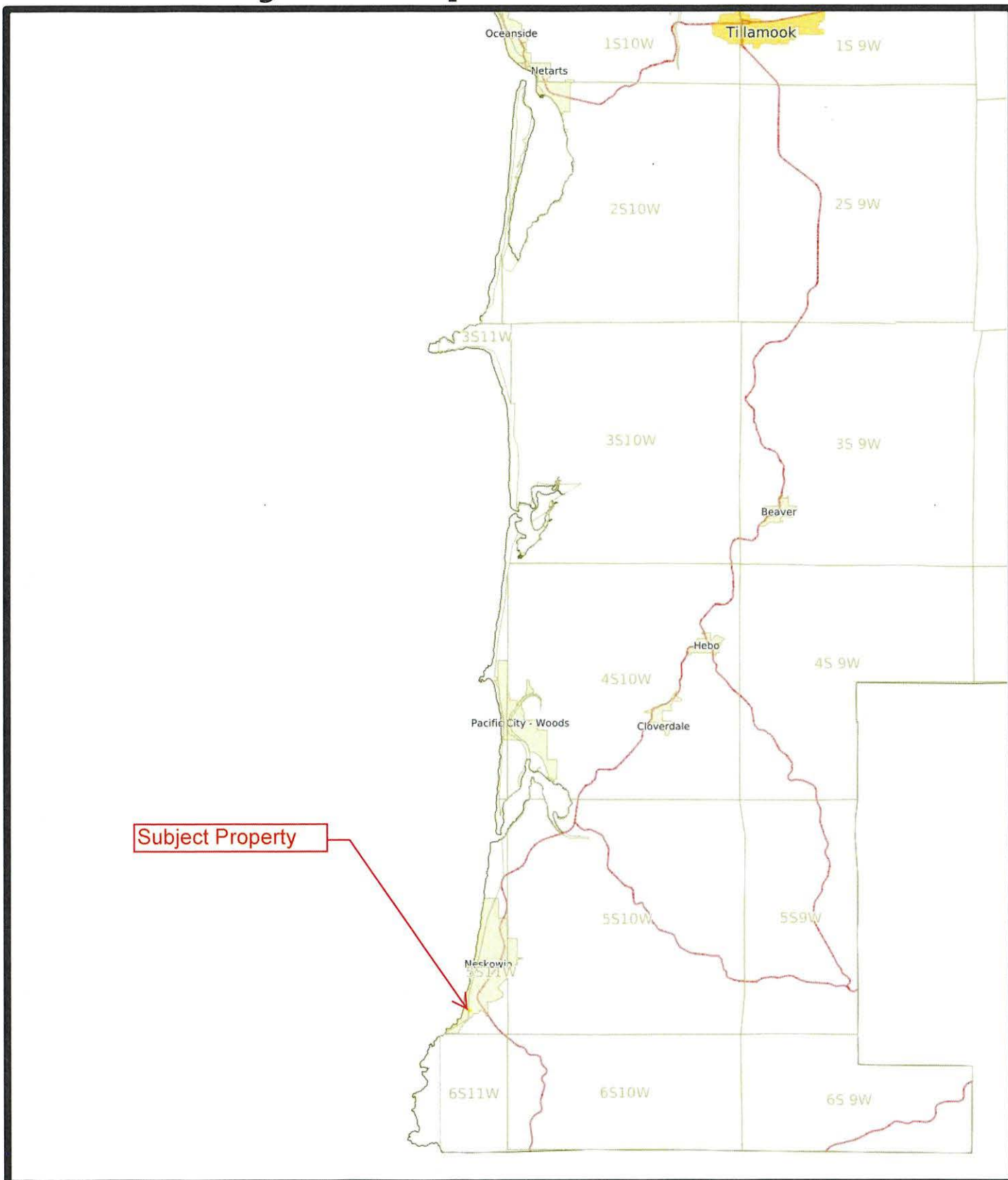
SECTION 4.005: RESIDENTIAL AND COMMERCIAL ZONE STANDARDS

In all RESIDENTIAL AND COMMERCIAL ZONES, the purpose of land use standards is the following:

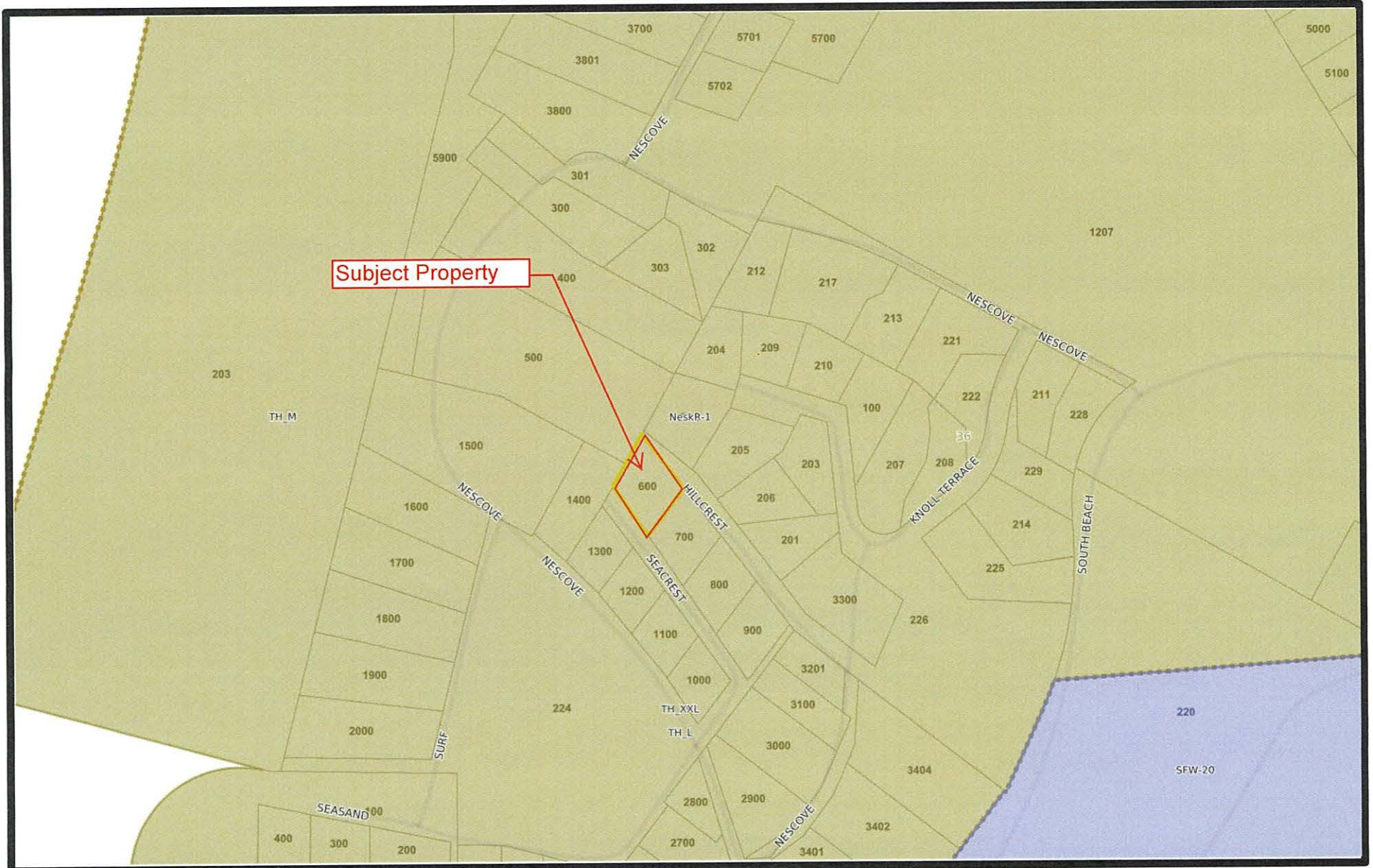
- (1) To ensure the availability of private open space;
- (2) To ensure that adequate light and air are available to residential and commercial structures;
- (3) To adequately separate structures for emergency access;
- (4) To enhance privacy for occupants of residences;
- (5) To ensure that all private land uses that can be reasonably expected to occur on private land can be entirely accommodated on private land, including but not limited to dwellings, shops, garages, driveways, parking, areas for maneuvering vehicles for safe access to common roads, alternative energy facilities, and private open spaces;
- (6) To ensure that driver visibility on adjacent roads will not be obstructed;
- (7) To ensure safe access to and from common roads;
- (8) To ensure that pleasing views are neither unreasonably obstructed nor obtained;
- (9) To separate potentially incompatible land uses;
- (10) To ensure access to solar radiation for the purpose of alternative energy production.

EXHIBIT A

Vicinity Map



Zoning Map



Tillamook County
2023 Real Property Assessment Report
 Account 257821

Map 5S1136BC00600
Code - Tax ID 2209 - 257821

Tax Status Assessable
Account Status Active
Subtype NORMAL

Legal Descr See Record

Mailing BATCHELDER, BRIAN D &
 GAUEN, SUZANNE E H/W
 3932 NE 37TH AVE
 PORTLAND OR 97212

Deed Reference # 2003-418963
Sales Date/Price 03-27-2003 / \$102,500
Appraiser ROBERT BUCKINGHAM

Property Class 100 MA SA NH
RMV Class 100 09 OV 989

Site Situs Address	City
4120 HILLCREST RD	COUNTY

Value Summary					
Code Area	RMV	MAV	AV	RMV Exception	CPR %
2209	Land 163,020		Land	0	
	Impr 0		Impr	0	
Code Area Total	163,020	104,140	104,140	0	
Grand Total	163,020	104,140	104,140	0	

Land Breakdown									
Code Area	ID #	RFPD	Ex	Plan Zone	Value Source	Trend %	Size	Land Class	Trended RMV
2209	0			NESKR-1	Market	114	0.18 AC		163,020
Code Area Total							0.18 AC		163,020

Improvement Breakdown								
Code Area	Year Built	Stat Class	Description	Trend %	Total Sqft	Ex%	MS Acct	Trended RMV

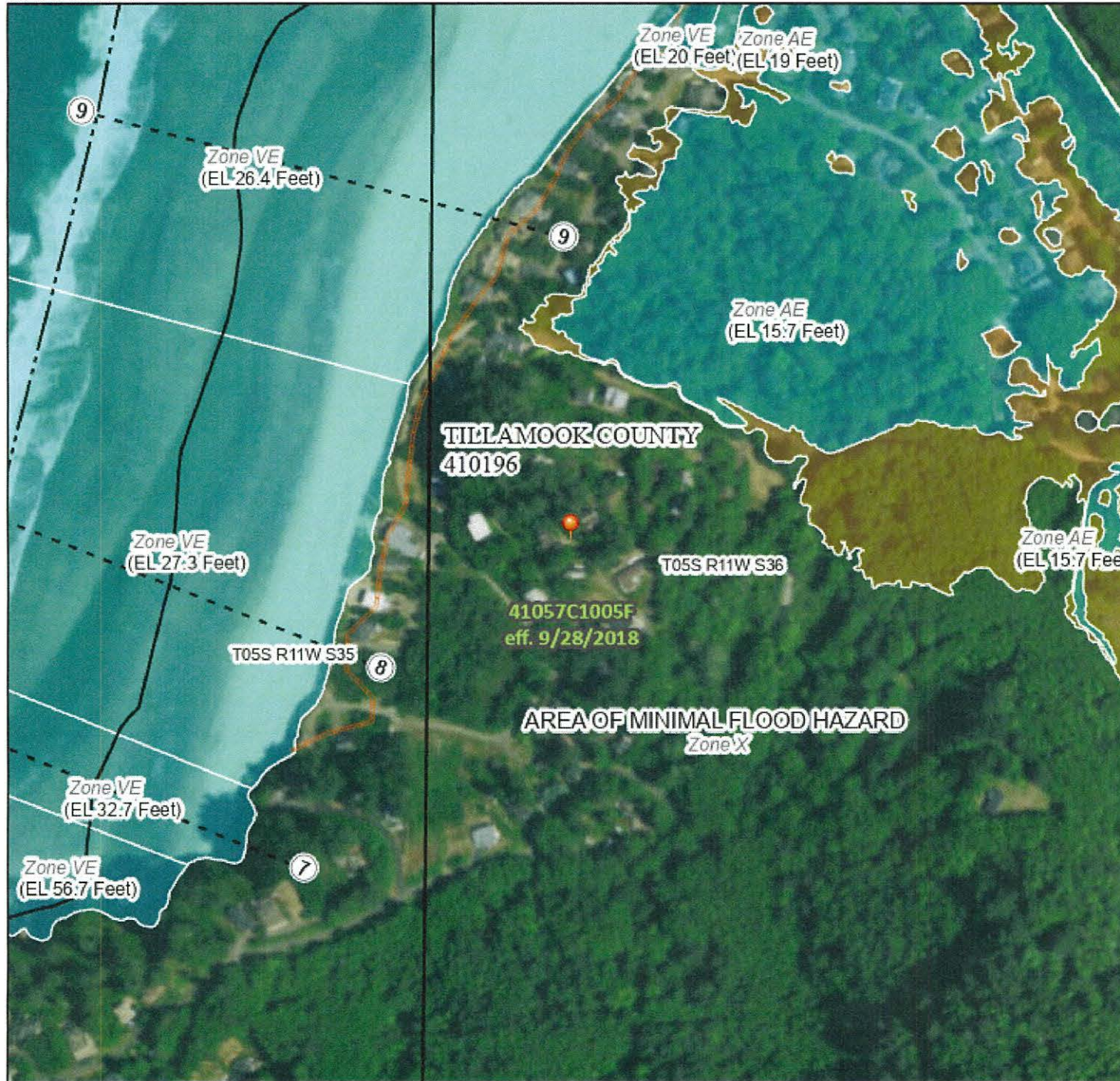
Exemptions / Special Assessments / Notations				
Code Area	2209			
Fire Patrol		Amount	Acres	Year
■ FIRE PATROL NORTHWEST		18.75	0.18	2023
Fire Patrol		Amount	Acres	Year
■ FIRE PATROL SURCHARGE		0.00		2023

Comments 04/17/14 Reappraised land; tabled values. RBB

National Flood Hazard Layer FIRMMette



123°59'27"W 45°5'58"N



123°58'49"W 45°5'33"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT







- | | |
|---|--|
| <p>SPECIAL FLOOD HAZARD AREAS</p> | <ul style="list-style-type: none"> Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> Regulatory Floodway |
| <p>OTHER AREAS OF FLOOD HAZARD</p> | <ul style="list-style-type: none"> 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> Area with Flood Risk due to Levee <i>Zone D</i> |
| <p>OTHER AREAS</p> | <ul style="list-style-type: none"> NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i> Effective LOMRs Area of Undetermined Flood Hazard <i>Zone</i> |
| <p>GENERAL STRUCTURES</p> | <ul style="list-style-type: none"> Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall |
| <p>OTHER FEATURES</p> | <ul style="list-style-type: none"> 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation 17.5 Cross Sections with 1% Annual Chance Water Surface Elevation Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature |
| <p>MAP PANELS</p> | <ul style="list-style-type: none"> Digital Data Available No Digital Data Available Unmapped |
-
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

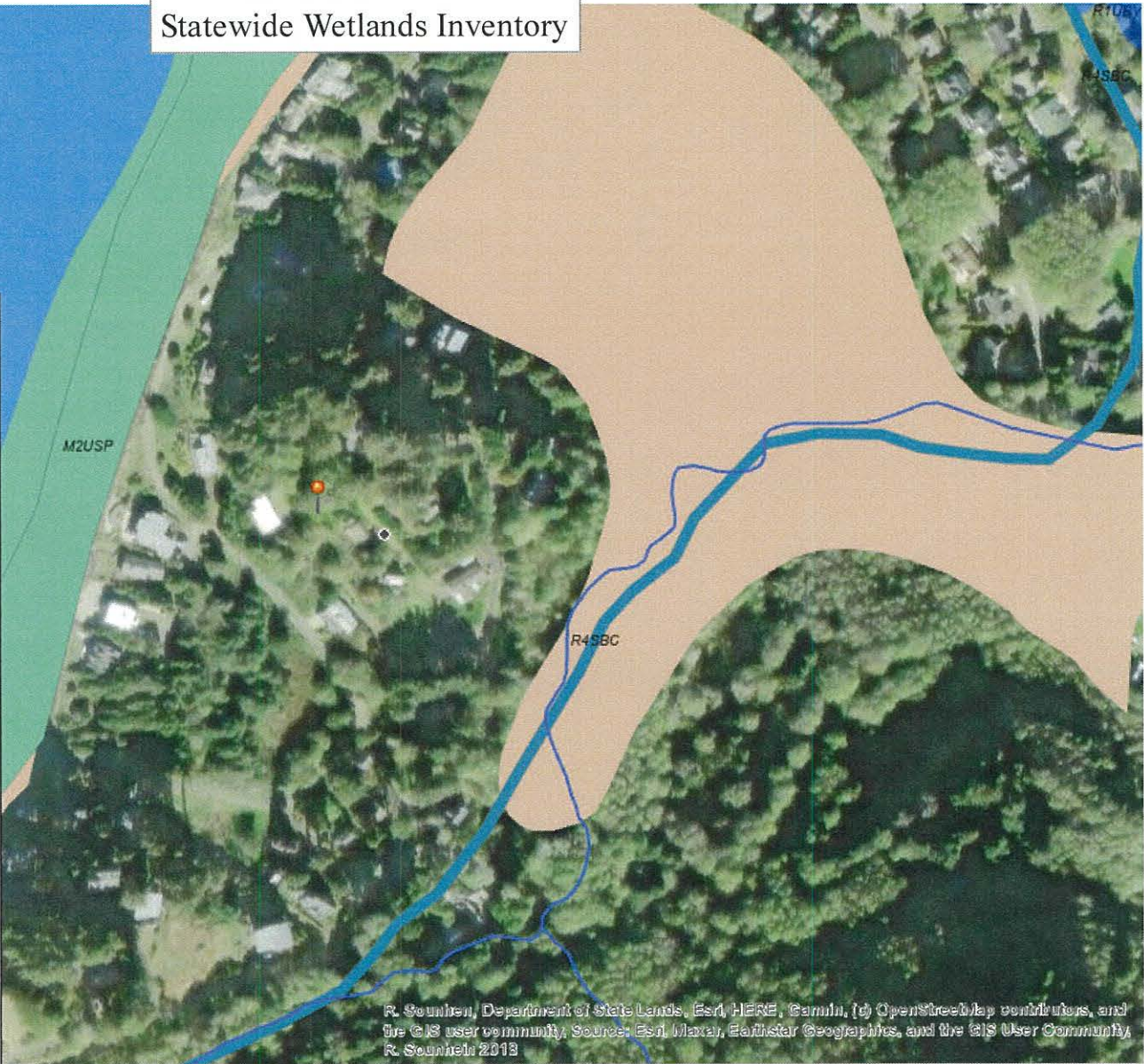
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **3/28/2024 at 7:00 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Statewide Wetlands Inventory

-  Townships
-  LVM Study Area
-  BASEDAT.DBO.NHDPPoint
- BASEDAT.DBO.NHDFlowline**
-  Perennial
-  Intermittent
-  Ephemeral
-  Unknown
-  Canal/Ditch
-  BASEDAT.DBO.NHDArea
-  BASEDAT.DBO.NHDWaterbody
- Wetlands**
-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Riverine
-  SWI Predominantly Hydric Soil Map Units
-  SWI Agate-Winlo Soils



R. Souinen, Department of State Lands, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, R. Souinen 2013

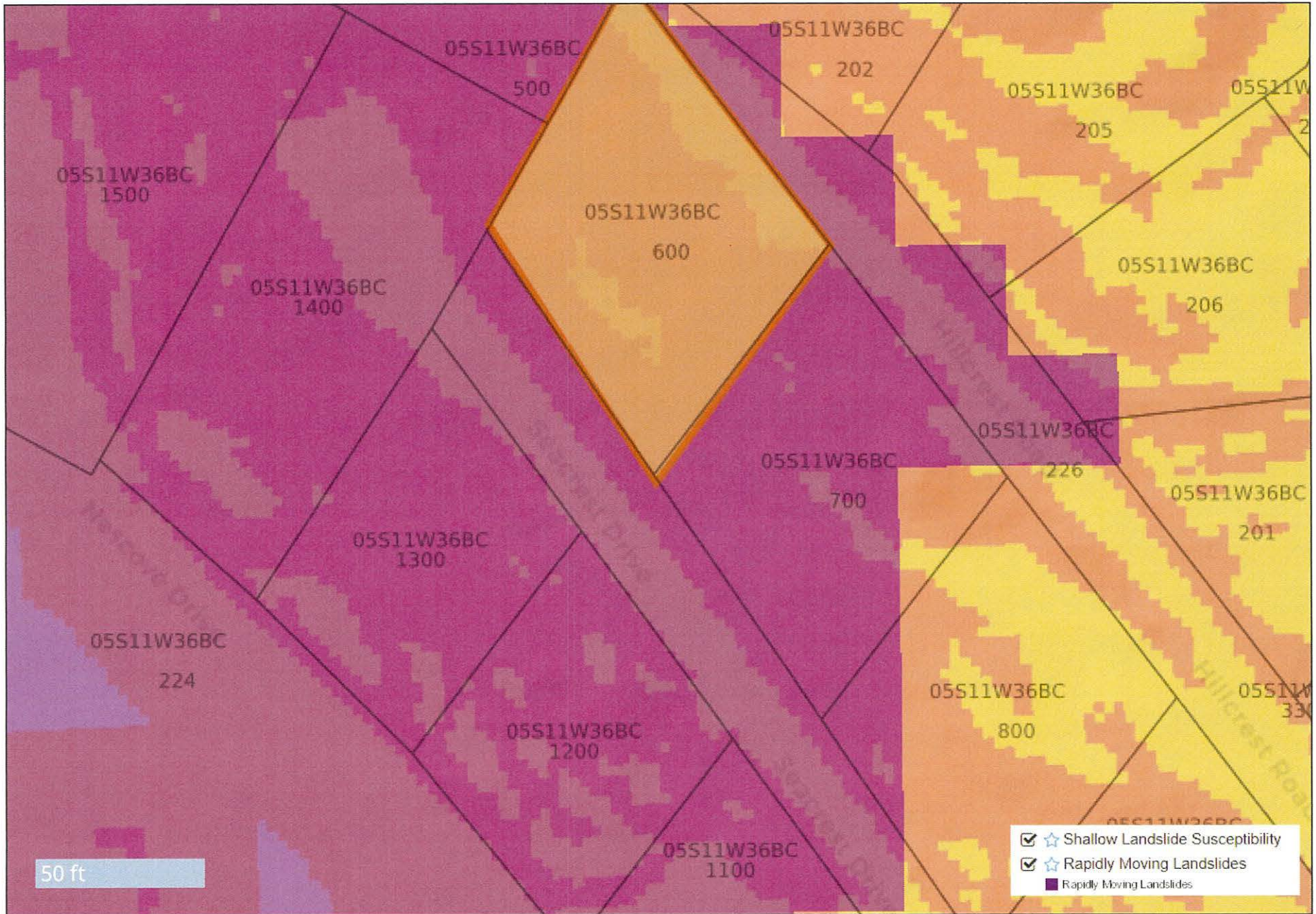


Date: 3/28/2024

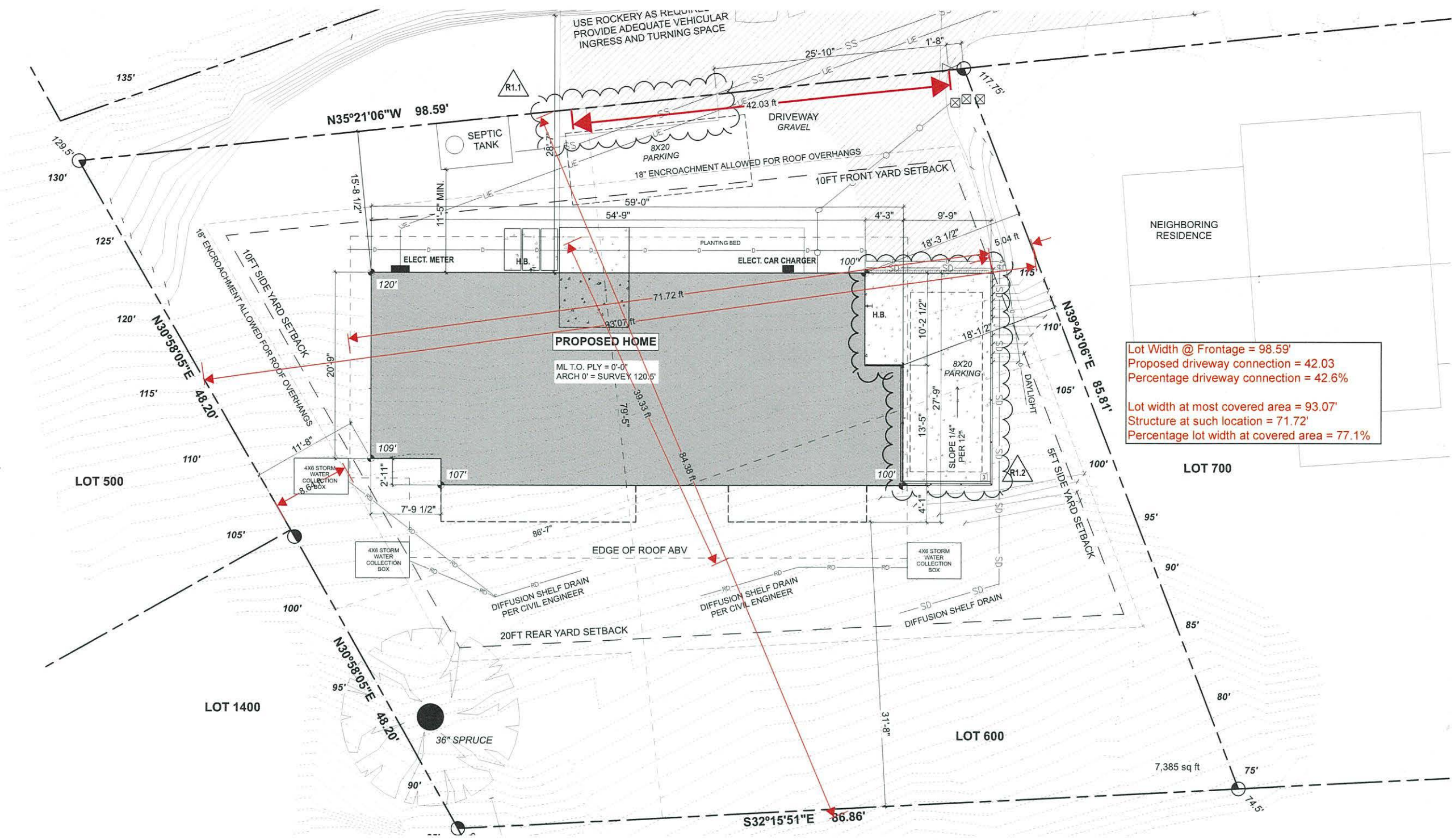


The Statewide Wetlands Inventory (SWI) represents the best data available at the time this map was published and is updated as new data becomes available. In all cases, actual field conditions determine the presence, absence and boundaries of wetlands and waters (such as creeks and ponds). An onsite investigation by a wetland professional can verify actual field conditions.

Hazard Map



Disclaimer: The spatial information hosted at this website was derived from a variety of sources. Care was taken in the creation of these themes, but they are provided "as is". The state of Oregon, or any of the data providers cannot accept any responsibility for errors, omissions, or positional accuracy in the digital data or underlying records. There are no warranties, expressed or implied, including the warranty of merchantability or fitness for a particular purpose, accompanying any of these products. However, notification of any errors would be appreciated. The data are clearly not intended to indicate the authoritative location of property boundaries, the precise shape or contour of the earth or the precise location of fixed works of humans.



Lot Width @ Frontage = 98.59'
 Proposed driveway connection = 42.03
 Percentage driveway connection = 42.6%
 Lot width at most covered area = 93.07'
 Structure at such location = 71.72'
 Percentage lot width at covered area = 77.1%

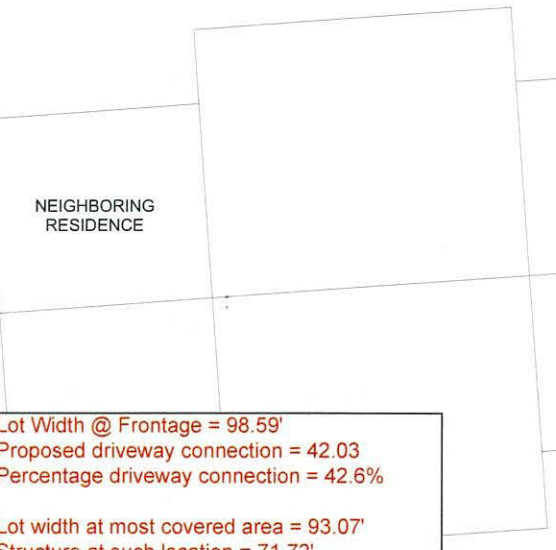
USE ROCKERY AS REQUIRED
 PROVIDE ADEQUATE VEHICULAR
 INGRESS AND TURNING SPACE

18" ENCROACHMENT ALLOWED FOR ROOF OVERHANGS
 10FT FRONT YARD SETBACK

10FT SIDE YARD SETBACK
 18" ENCROACHMENT ALLOWED FOR ROOF OVERHANGS

5 FT SIDE YARD SETBACK

EDGE OF ROOF ABV
 DIFFUSION SHELF DRAIN PER CIVIL ENGINEER
 20FT REAR YARD SETBACK



NEIGHBORING
 RESIDENCE

LOT 700

LOT 500

LOT 1400

LOT 600

7,385 sq ft

36" SPRUCE

N35°21'06"W 98.59'

N30°58'05"E 48.20'

N39°43'06"E 85.81'

S32°15'51"E 86.86'

135'

130'

125'

120'

115'

110'

105'

100'

95'

90'

25'-10" SS

UE 1'-8"

117.75'

42.03 ft

8X20 PARKING

DRIVEWAY GRAVEL

10FT FRONT YARD SETBACK

59'-0"

11'-9" MIN.

ELECT. METER

H.B.

PLANTING BED

ELECT. CAR CHARGER

PROPOSED HOME

ML T.O. PLY = 0'-0"
 ARCH 0' = SURVEY 120.5'

71.72 ft

93.07 ft

79'-5"

39'-3.3' ft

84'-3.6' ft

86'-7"

7'-9 1/2"

107'

109'

11'-8"

20'

120'

15'-8 1/2"

11'-9"

11'-8"

11'-8"

11'-8"

11'-8"

11'-8"

11'-8"

11'-8"

11'-8"

11'-8"

11'-8"

11'-8"

11'-8"

EXHIBIT

B



Tillamook County Department of Community Development
 1510-B Third Street, Tillamook, OR 97141 | Tel: 503-842-3408 Fax: 503-842-1819
www.co.tillamook.or.us

PLANNING APPLICATION

Applicant (Check Box if Same as Property Owner)

Name: Lydia Peters, Nathan Good Architects Phone: 503-560-4355
 Address: 205 Liberty St NE, Suite B
 City: Salem State: OR Zip: 97301
 Email: Lydia@NGApc.com

Property Owner

Name: Brian Batchelder and Suzanne Gauen Phone: 503-816-3254
 Address: 3932 NE 37th Ave
 City: Portland State: OR Zip: 97212
 Email: sb@batchelder.org

OFFICE USE ONLY
Date Stamp
RECEIVED
DEC 06 2023 email
<input type="checkbox"/> Approved <input type="checkbox"/> Denied
Received by: LT
Receipt #: 135182
Fees: 1365
Permit No: 851-23 - 000562-PLNG

Request: Variance request to Max Building Width and Max Driveway Width due to a steeply sloped lot, location at the end of a dead end street, and sub-standard road width and dead end termination severely limiting turnaround space. If the variance is granted, the two required parking spaces will be situated outside of the vehicular turning space.

Type II

- Farm/Forest Review
- Conditional Use Review
- Variance
- Exception to Resource or Riparian Setback
- Nonconforming Review (Major or Minor)
- Development Permit Review for Estuary Development
- Non-farm dwelling in Farm Zone
- Fore-dune Grading Permit Review
- Neskowin Coastal Hazards Area

Type III

- Detailed Hazard Report
- Conditional Use (As deemed by Director)
- Ordinance Amendment
- Map Amendment
- Goal Exception
- Nonconforming Review (As deemed by Director)
- Variance (As deemed by Director)

Type IV

- Ordinance Amendment
- Large-Scale Zoning Map Amendment
- Plan and/or Code Text Amendment

Location:

Site Address: 4120 Hillcrest Rd., Neskowin

Map Number:	05S	11W	36BC	600
	Township	Range	Section	Tax Lot(s)

Clerk's Instrument #: _____

Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

	12-4-23
Property Owner Signature (Required)	Date
	12-4-23
Applicant Signature	Date

Lynn Tone

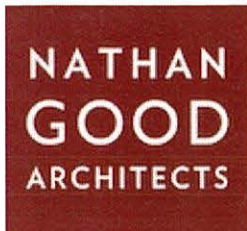
From: Lydia Peters <Lydia@ngapc.com>
Sent: Tuesday, December 5, 2023 12:59 PM
To: Lynn Tone
Cc: Jaidon Wood
Subject: EXTERNAL: Batchelder Variance Submittal
Attachments: Variance App.pdf; VARIANCE SET.pdf

[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hello, Lynn. Attached find an application and supporting drawings for a variance request. I also attached site photos so you can see what we are dealing with. The goal is to add a parking pad and enlarge the gravel area in front of the house so that vehicles can actually turn around at the end of the road.

Please let me know that you received these and feel free to reach out if you have any questions.

Lydia Peters, AIA
503.560.4355



205 Liberty St NE, Suite B
Salem, OR 97301
503.370.4448

www.NathanGoodArchitects.com



PROJECT INFO

PROPOSAL: NEW SINGLE FAMILY RESIDENCE ON SLOPING LOT ACCESSED BY A PRIVATE ROAD
 MAP AND TAXLOT: 05S11W06C TAXLOT 600
 LEGAL DESCRIPTION: TRACT OF LAND DESCRIBED IN BOOK 218, PAGE 279, TILLAMOOK COUNTY RECORDS
 AREA: 0.17 AC (7385 SQ FT)
 LOT SLOPE: AVERAGE 50% (43FT ELEVATION CHANGE IN 85.81 FT)

DEVELOPMENT STANDARDS

2021 OREGON RESIDENTIAL SPECIALTY CODE
 JURISDICTION: TILLAMOOK COUNTY
 ZONE: New R-1
 ZONING CODE: TILLAMOOK COUNTY LAND USE ORDINANCE (LUO)

DESIGN REQUIREMENTS (SMALL LOT EXCEPTION)

Front Yard Setback (LUO 3.322, 4.110(5)) 10'
 Side Yard Setback (LUO 3.322) 5'
 Rear Yard Setback (LUO 3.322) 20'
 Max Height (LUO 3.322) 35'
 Max Building Depth 70% dist. between front and rear lot line (79'-5") = 55'-7"
 Max Building Width 70% dist. between side lot lines (86'-7") = 60'-7"
 Min Lot Size 8,000 sq ft

Eaves and Chimneys allowed to encroach 18" max into setbacks (LUO 4.110)

BUILDING AREAS

CONDITIONED AREA
 Lower Level 762sf
 Main Level 1,342sf
 Total SF 2,094sf

UNCONDITIONED AREA
 Lower Level 69sf

OTHER AREAS
 Covered Front Porch 46sf
 Car Park/Concrete/Steel Deck 297sf

GENERAL NOTES

- Site information concerning existing conditions are suitable for preparation of the Drawings and given for convenience to the Contractor. Owner and Architect do not guarantee accuracy of such information. It is the responsibility of the Contractor to inform themselves and the necessary officials as to the conditions affecting the Work.
- The Work shall conform to the Contract Documents, Oregon Residential Specialty Code (latest edition), and all applicable local building codes.
- The Contract Documents include Architectural and Engineering Drawings, Specifications if applicable, and any Addendums to the above mentioned. The intent of the Contract Documents is to include all items necessary for the completion of the Work. Work not covered in the Contract Documents will not be required unless it is reasonably inferable as being necessary to produce the intended results. Damaged or defective work shall be immediately repaired or replaced to the approval of the Architect and at no additional cost to the Owner.
- Dimensions shall be to face of framing or face of concrete unless otherwise indicated. Written dimensions take precedence over drawing scale. Do not scale drawings.
- Contractor shall verify all dimensions and field conditions before proceeding and notify Architect of any discrepancies. Contractor shall provide adequate bracing and shoring as necessary until permanent supports and stiffeners are installed. Contractor shall notify the Architect and Owner of proposed field changes prior to construction of modification. Contractor will notify the Owner, Architect, Engineer, and the local building official at critical construction milestones established by the local municipality in order to obtain necessary approvals prior to commencement of work. Contractor will obtain inspections per ORSC R109 and special inspections from an independent testing lab as required by the local municipality.
- The Architect and Engineers have not been retained or compensated to provide design and/or construction review services related to the contractor's safety precautions or to means, methods, techniques, sequences or procedures for the contractor to perform his/her work. The undertaking of periodic site visits by the Architect or Engineer shall not be construed as supervision of actual construction nor make either responsible for providing a safe place for the performance of work by the Contractor or the Contractor's employees or employees of suppliers or subcontractors, or for access, visits, use, work, travel, or occupancy by any person. Contractor shall take all reasonable precautions for the safety of, and shall provide all reasonable protection to prevent damage, injury or loss to:
 - Employees and all other affected persons.
 - All work, materials, and equipment.
 - Other property at the site or adjacent thereto.
- Combination CO detector + smoke detectors to be hardwired with battery backup. Locate as shown on drawings.
- Provide blocking in walls for towel bars and all wall mounted fixtures - verify locations with Architect prior to installation.
- Electrical, Plumbing & Mechanical design to be bidder-designed except as noted within.
- Foundation drains to daylight with rodent-proof screened outlet min. 10' from foundations or per geotech report. See site plan for more information.

ENERGY & INDOOR AIR QUALITY NOTES

Exterior joints around windows and door frames, openings between walls and foundations, between walls and roof, openings at penetrations of utilities through walls, floors, and roofs, and all other such openings in the building envelope shall be sealed, caulked, gasketed, or weather-stripped to limit air infiltration.

Thermal breaks shall be provided between all footings and concrete slabs associated with conditioned spaces.

Recessed lighting fixtures installed in the building envelope shall be IC-rated for direct insulation contact.

Use 80 cfm Panasonic Whisper Green exhaust fan for all Bathrooms and Laundry Room. Kitchen exhaust hood shall be min 400 cfm.

Provide a Zehnder ComfoAir Q350 HRV w/Zehnder ComfoTubes supply and return ducts to provide fresh, filtered air to all rooms, including bathrooms.

REVISION SCHEDULE

- R1.1 VARIANCE REQUESTED: EXTEND GRAVEL DRIVEWAY WIDTH TO FACILITATE VEHICULAR TURNAROUND AT STREET TERMINATION.
- R1.2 VARIANCE REQUESTED: WAIVE MAX BUILDING WIDTH REQUIREMENT TO CONSTRUCT PARKING PAD. THIS WILL ALLOW THE REQUIRED VEHICULAR PARKING SPACES TO BE SITUATED OUTSIDE OF THE VEHICULAR TURNAROUND SPACE AT THE STREET TERMINATION.
- R2 ADDITIONAL INFORMATION: CIVIL ENGINEER'S DRAINAGE PLAN A0.3 ADDED



NE PERSPECTIVE OF ENTRY

LEGAL INCUMBRANCES

Per EAS 384-935 from 1997, "Hillcrest Rd" is owned by Hill Family Trust 755 SW Cheltenham St. Portland, OR 97239
 This is a private road, not a public right-of-way.

Utility easements are also in the private road. These include easements for telephone, power (Tillamook People's Utility District), sewer (Neskowin Regional Sanitary Authority), and water (Neskowin Regional Water District).

Also per this document, there is a Restrictive Covenant stating that any development on this property must be a single family dwelling having not less than 1,000 sq ft of floor space exclusive of the garage, and a maximum gable height not to exceed 15ft above the finish grade of the road (meaning Hillcrest).

Ingress/Egress easement 218-288 "Searces" also provided.

ENERGY CODE COMPLIANCE

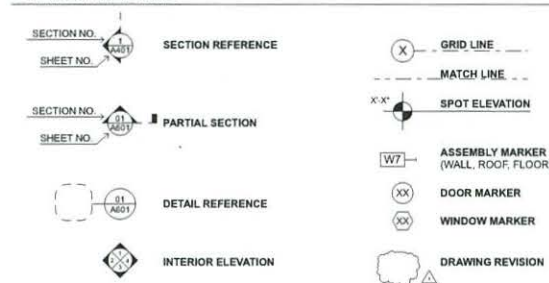
BUILDING COMPONENT	PRESCRIPTIVE REQUIREMENTS	PROVIDED
WINDOWS ¹	U-0.27	0.25
SKYLIGHT	U-0.50	N/A
EXTERIOR DOORS ²	U-0.20	N/A
EXTERIOR DOORS W>2.5 SQ FT GLAZING ³	U-0.40	0.32
SLAB-EDGE PERIMETER ⁴	R-15 (2ft perimeter)	N/A
HEATED SLAB INTERIOR ⁵	R-10	N/A
UNDERFLOORS	U-0.033 or R-30	R-56
BELOW GRADE WALL INSULATION ⁶	R-15 c.l. / R-21	R-30
ABOVE GRADE WALL INSULATION	U-0.059 or R-21 Intermediate ⁷	R-29
FLAT CEILING INSULATION ⁸	U-0.021 or R-49	N/A
VAULTED CEILING INSULATION ⁹	U-0.033 or R-30 Rafter or R-30A ¹⁰ Slopator Truss	R-52

⁹New Construction Only, Not Including Log Homes

ADDITIONAL MEASURE

3 ACH AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION
 Achieve a maximum of 3.0 ACH50 whole-house air leakage when third-party tested and provide a whole-house ventilation system including heat recovery with a minimum sensible heat recovery efficiency of not less than 66 percent

SYMBOL LEGEND



ABBREVIATIONS

ABV	ACT	ADJ	AOR	ADG	AFF	ALT	ARCH	BM	BRG	ID	BO	BLDG	CAB	CFM	CL	CLR	CLST	CMU	COL	CONC	CJ	CONT	DET	DIA	DM	DW	DN	DR	DS	EQ	EJ	EXT	FOC	FOF	FOF	FIN	FD	FDN	FT	FTG	GA	GALV	GC	GR	GLB	GWB	HB	HDWE	HD	HRV	HVAC	HT	ID	INSUL	INT	LAM	LAV	MFG	MO	MTL	MAX	MECH	MN	MISC	NIC	NA	NTS	OK	OPP	OPH	OO	OR	PL	PLY	REF	REQD	RM	RO	SAN	SEC	SEW	SHT	SM	SM	FD	SPEC	SQ	SS	STC	STD	STL	STRUCT	GYPSUM WALLBOARD	HOSE BIB/WALL	HYDRANT/SILL COCK	HARDWARE	HEAD	HEAT RECOVERY VENTILATOR	HEATING, VENTILATION, AIR CONDITIONING	HEIGHT	INSIDE DIAMETER	INSULATION	INTERIOR	LAMINATE	LABORATORY	MANUFACTURER	MASONRY OPENING	METAL	MAXIMUM	MECHANICAL	MINIMUM	MISCELLANEOUS	NOT IN CONTRACT	NOT APPLICABLE	NOT TO SCALE	ON CENTER	OPPOSITE	OPPOSITE HAND	OUTSIDE DIAMETER	PRE-FERRED	PLATE	PLYWOOD	REFER TO	REQUIRED	ROUGH OPENING	SANITARY	SECTION	SEWER	SHEET	SHEET	SIMILAR	SHEET METAL	SPECIFICATION	SQUARE	STAINLESS STEEL	SOUND TRANSMISSION CLASS	STANDARD	STEEL	STRUCTURE (AL)	SUB	SUSP	TEMP	THK	TP	TAG	TO	TS	TYP	UG	UNO	UNLESS OTHERWISE NOTED	UNFINISHED	UNFINISHED	VERIFY IN FIELD	VERT	V	WC	WP	WN	W	WD	SUBSTITUTE	SUSPEND (ED)	TELEVISION	TEMPERED	TOILET PAPER	TONGUE AND GROOVE	TUBE STEEL	TYPICAL	UNDERGROUND	UNLESS OTHERWISE NOTED	VERTICAL	VERTICAL	VOLTAGE	WATER CLOSET	WATERPROOF	WINDOW	WITH	WOOD
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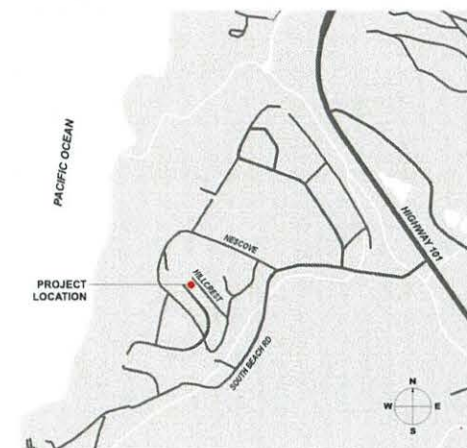
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 503-738-3425

CIVIL ENGINEER
 JASON MORGAN
 MORGAN CIVIL ENGINEERING, INC
 503-801-6016



VICINITY MAP

SHEET INDEX

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 NESKOWIN, OR 97149

STATUS: PERMIT R1 & R2
DATE: 08/14/23
 10/27/23
 12/04/23

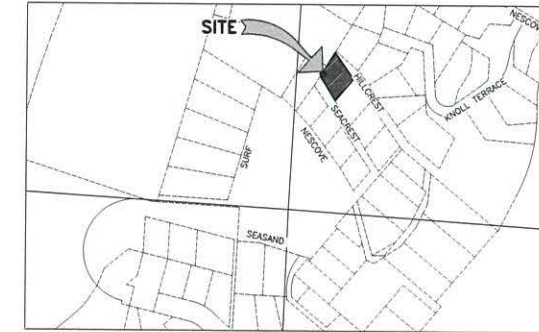
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A0.0

GENERAL INFO

TOPOGRAPHIC SURVEY

FOR SUZANNE GAUEN
 OF A TRACT OF LAND DESCRIBED IN BOOK 218,
 PAGE 279, TILLAMOOK COUNTY RECORDS
 SOUTHWEST 1/4 OF THE NORTHWEST 1/4 IN
 SECTION 36, TOWNSHIP 5 SOUTH, RANGE 11 WEST
 OF THE WILLAMETTE MERIDIAN
 CITY OF NESKOWIN, TILLAMOOK COUNTY, OREGON



VICINITY MAP
(NOT TO SCALE)

VERTICAL DATUM:

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

NOTES:

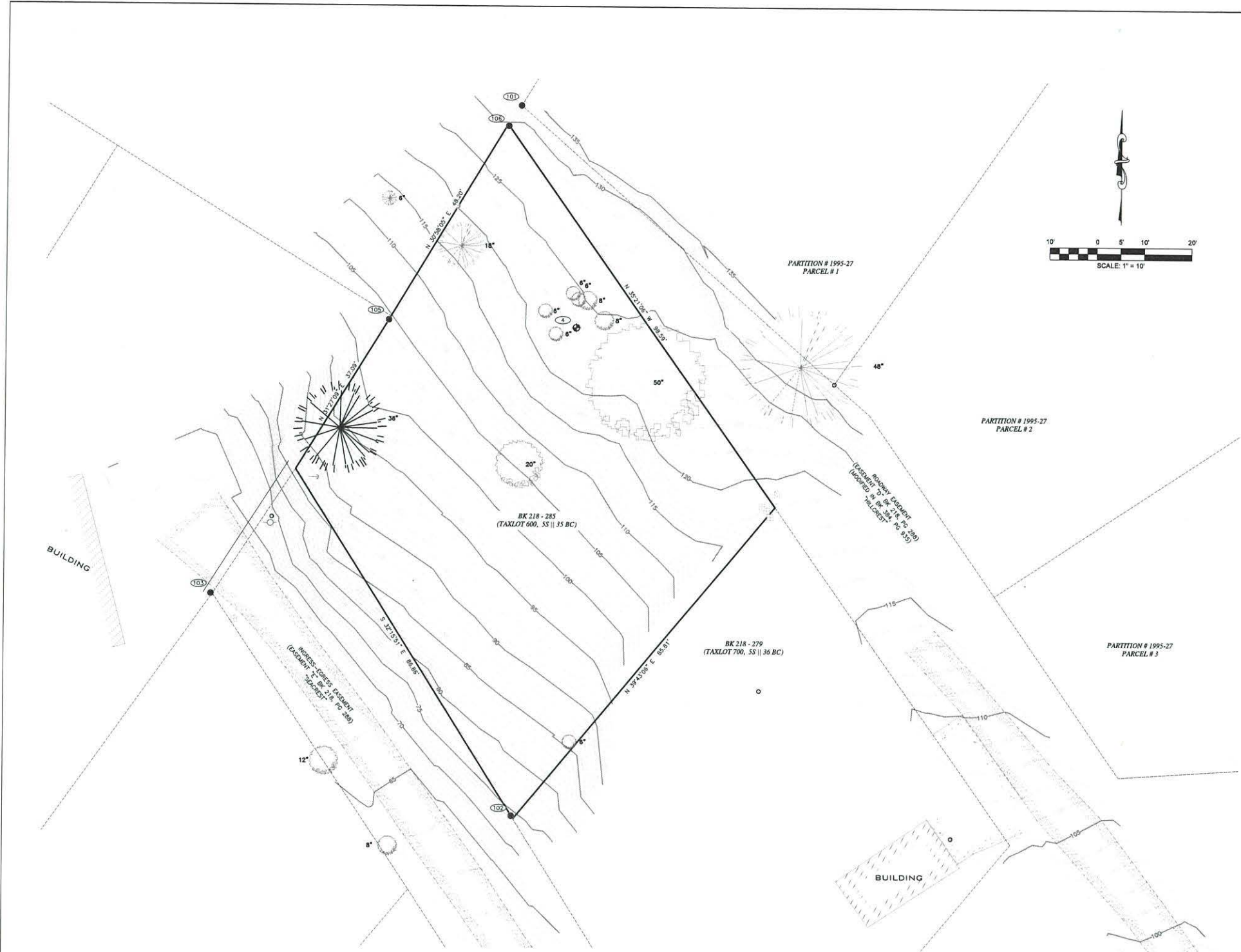
1. FIELD WORK WAS COMPLETED ON SEPTEMBER 30, 2021
2. THE PURPOSE OF THIS SURVEY IS TO GRAPHICALLY DEPICT THE EXISTING CONDITIONS, CONTOURS AND IMPROVEMENTS OF THE SUBJECT PROPERTY.

MONUMENT NOTES:

- ⑩ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP
- ⑪ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP
- ⑫ FOUND 5/8" IRON ROD WITH NO CAP
- ⑬ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP
- ⑭ FOUND 5/8" IRON ROD, BENT SOUTHERLY
- ⑮ SET 5/8" IRON ROD WITH RED PLASTIC CAP MARKED "S&F LANDS CONTROL" USED AS PERMANENT SITE BENCHMARK WITH AN ELEVATION OF: 124.43' PER NAVD 88

LEGEND

	BOUNDARY LINE
	LOT/PARCEL LINE
	BUILDING
	EDGE OF CONCRETE
	EDGE OF GRAVEL
	MONUMENT NUMBER
	FOUND MONUMENT - 5/8" IRON ROD
	SITE BENCHMARK
	POWER POLE
	GUY ANCHOR
	TREE - DECIDUOUS
	TREE - CONIFER
	WATER METER
	WATER VALVE



S&F Land Services

PORTLAND, VANCOUVER, BEND, SEASIDE

1725 N. ROOSEVELT DR.
 STE. B, SEASIDE, OR 97138
 (503) 738-3425

WWW.SFLANDS.COM EMAIL: INFO@SFLANDS.COM

DATE	JOB NO.	FIELD	DRAWN	CHECKED
SEP. 30, 2021	2021-0442-01	TAN/SPE	JET	JLW

SURVEY FOR:

SUZANNE GAUEN

TRACT OF LAND DESCRIBED IN BOOK 218,
 PAGE 279, TILLAMOOK COUNTY RECORDS
 SW 1/4 OF NW 1/4 SEC 36

T55N R11W, W.M.
 CITY OF NESKOWIN, TILLAMOOK COUNTY, OREGON

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

OREGON
 SEPTEMBER 10, 2019
 JACK L. WHITE II
 91887215
 RENEWS 6/30/22

21044201_T020.dwg

GENERAL SITE PLAN NOTES

MAP AND TAXLOT: 05511W36C TAXLOT 600
 LEGAL DESCRIPTION: TRACT OF LAND DESCRIBED IN BOOK 218, PAGE 279, TILLAMOOK COUNTY RECORDS
 AREA: 0.17 AC (7385 SQ FT)
 LOT SLOPE: AVERAGE 50% (43FT ELEVATION CHANGE IN 85.81 FT)

1. SURVEY, INCLUDING LOT LINES, TOPOGRAPHY AND LOCATIONS OF TREES AND UTILITIES PROVIDED BY S & F LAND SERVICE
2. PRIOR TO PLACING FILL, REMOVE ALL VEGETATION, ORGANIC SURFACE SOILS, AND DEBRIS.
3. SOME TREES HAVE ALREADY BEEN CLEARED. ALL EXISTING TREES TO REMAIN AS INDICATED.

EROSION CONTROL MEASURES

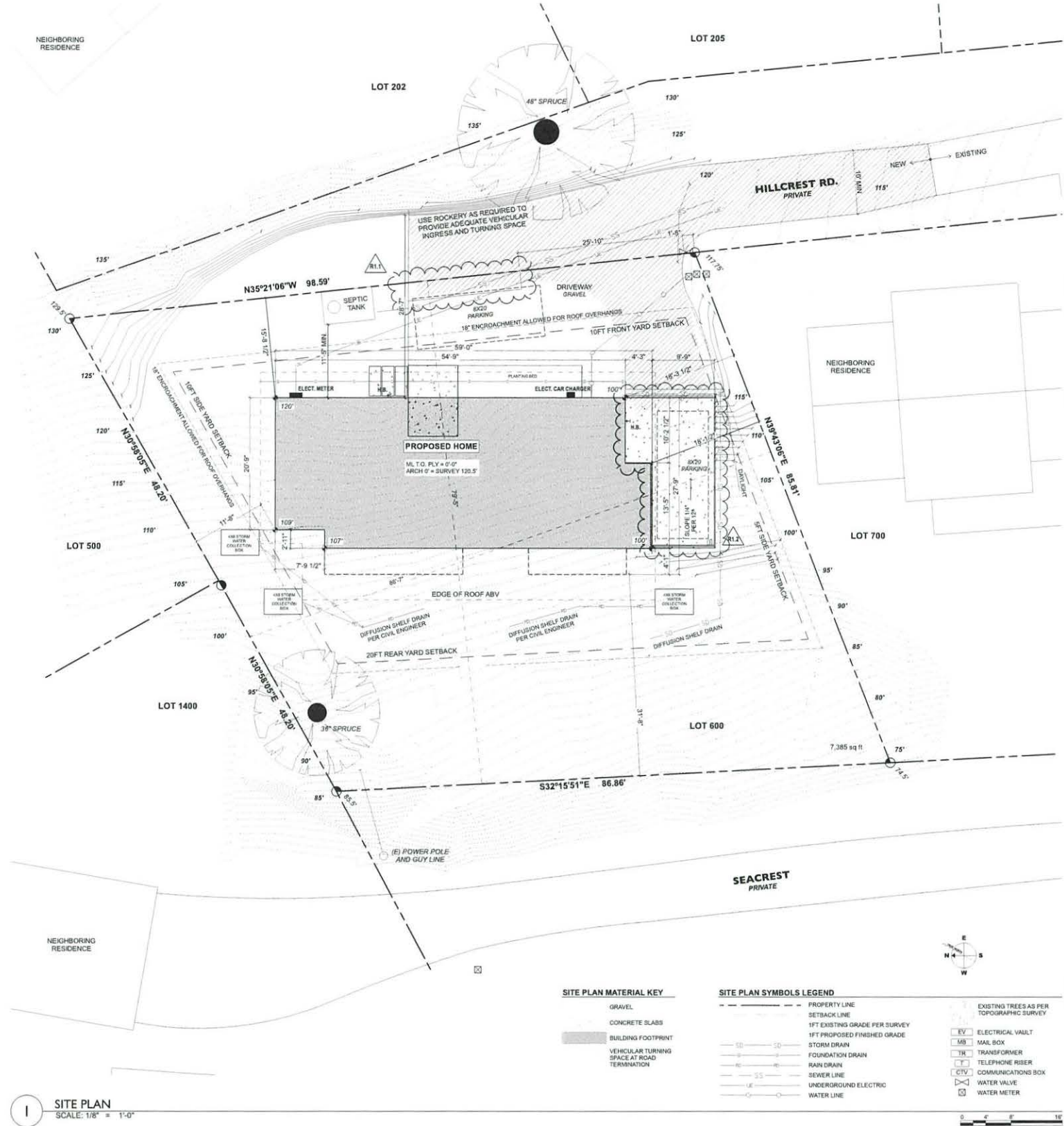
GOAL: No visible and measurable sediment or pollutant shall exit the site, enter the public right-of-way or be deposited into any water body or storm drainage system. Depositing or washing soil into a water body or the storm drainage system is prohibited (SOURCE: Earth Advantage Residential Measures Resource Guide)

Possible options to meet the purpose of this measure, the builder can choose from the following actions:

- Remove any soil that enters the sidewalks, streets and other areas within the public right-of-way through mechanical means other than flushing with water.
- Protect stormwater inlets that are functioning during the course of the development so that sediment-laden water cannot enter the inlets without first being filtered.
- Replace plant cover with species not listed in either the Nuisance or the Prohibited Plant List, as set forth by the local jurisdiction or the State of Oregon.
- Secure or protect soil stockpiles throughout the project with temporary or permanent soil stabilization measures.
- Cover stock piles with weighted plastic or a 3" layer of mulch or straw during wet weather (October 1 - April 30).
- Mark construction limits with sediment fences, berms or construction fencing.
- Install straw wattles or mulch berms where sediment fencing is not practical.
- Install vehicle travel lanes that will serve the site during the entire course of construction.
- Lay rock on the area necessary for contractor parking.
- Coordinate the application of groundcover (straw, mulch, or compost) with landscape plans.
- Protect areas under eaves with heavier material (e.g., straw).
- Stabilize soil as soon as grading is complete.
- Install and maintain catch basin inserts in high traffic areas. Use bio-bags to protect irregular shaped inlets.
- Install sediment retention facilities before grading.
- Perimeter protection to filter sediment shall be located downslope of all disturbed areas and properly installed prior to upslope grading.

SITE DRAINAGE NOTES:

1. CONTRACTOR TO FOLLOW ALL REQUIREMENTS AND RECOMMENDATIONS FOUND IN GEOTECH REPORT FOR THE PROPERTY PREPARED BY HG SCHLICHER & ASSOCIATES
2. CONTRACTOR TO FOLLOW ALL REQUIREMENTS OF THE CIVIL ENGINEERS DRAINAGE PLAN A0.3.
3. FINAL GRADING TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. WHERE LOT LINES OR PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO INSURE DRAINAGE AWAY FROM THE STRUCTURE.
4. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING



SITE PLAN
 SCALE: 1/8" = 1'-0"

SITE PLAN MATERIAL KEY		SITE PLAN SYMBOLS LEGEND	
GRAVEL	CONCRETE SLABS	PROPERTY LINE	EXISTING TREES AS PER TOPOGRAPHIC SURVEY
BUILDING FOOTPRINT	VEHICULAR TURNING SPACE AT ROAD TERMINATION	SETBACK LINE	ELECTRICAL VAULT
		1FT EXISTING GRADE PER SURVEY	MAIL BOX
		1FT PROPOSED FINISHED GRADE	TRANSFORMER
		STORM DRAIN	TELEPHONE RISER
		FOUNDATION DRAIN	COMMUNICATIONS BOX
		RAIN DRAIN	WATER VALVE
		SEWER LINE	WATER METER
		UNDERGROUND ELECTRIC	
		WATER LINE	

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BATCHELDER/GAUVEN RESIDENCE
 BRIAN BATCHELDER AND SUZANNE GAUVEN
 HILLCREST
 NESKOWIN, OR 97149

STATUS:	DATE:
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CONSTRUCT.	10/27/23
R1	12/04/23

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A0.2
 SITE PLAN

NOTES

1. DETERMINE CUT ALL VEGETATION TO GRADE LEVEL AT PIPE AND CONDUIT LOCATIONS. DO NOT REMOVE ROOTS.

2. PIPE: USE #10 PERFORATED PIPE. GAP FITTINGS. INSTALL OUTFALL PIPE LEVEL, NO SLOPE.

3. SECURE OUTFALL PIPE WITH WIRE TIED TO REBAR ON DOWNHILL SIDE AT 5' O.C.

4. LORR LOGS: PLACE CONDUITS DOWN SLOPE OF OUTFALL PIPE. ENSURE NO GAPS UNDER LOGS. STAKE CONDUITS TO GROUND WITH 30" WOOD STAKES SET AT 5' O.C.

5. USE #10 LF OF PIPE PER 1000 SF OF COLLECTION AREA.

6. 11" x 20" COB LOG

7. OUTFALL PIPE 4" Ø PERFORATED PIPE INSTALLED LEVEL

DIFFUSION SURFACE DRAIN
NOT TO SCALE

MORGAN CIVIL ENGINEERING, INC.
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(503) 801-6016
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CIVIL ENGINEERING
INSPECTION
PLANNING

DISCHARGE PIPE SURFACE DIFFUSION PIPE

DISCHARGE PIPE SURFACE DIFFUSION SHELF

DIFFUSION SHELF DRAIN SHALLOW
SCALE: 1"=1'

ROCK BACKFILL 2" WASHED ANGULAR ROCK OR SIMILAR

EXISTING GRADE

10" MIN.

OUTFALL 4" Ø PERFORATED PIPE INSTALLED LEVEL. CAP ENDS.

CUT SHELF IN NATIVE SOIL MIN. 2% SLOPE

USE #10 LF OF PIPE PER 1000 SF OF COLLECTION AREA.

DIFFUSION SHELF DRAIN WITH VEGETATION
SCALE: 1"=1'

OPTIONAL ORGANIC TOPSOIL WITH VEGETATION 6"-8" THICKNESS

1/4" THICK GAP IN SURFACE SOIL TO DRAIN WATER.

ROCK BACKFILL 2" WASHED ANGULAR BALLAST ROCK OR SIMILAR

EXISTING GRADE

11"

GEO-TEXTILE FILTER FABRIC MORGAN 140N, OR SIMILAR

OUTFALL 4" Ø PERFORATED PIPE INSTALLED 1/4" IN. CAP ENDS.

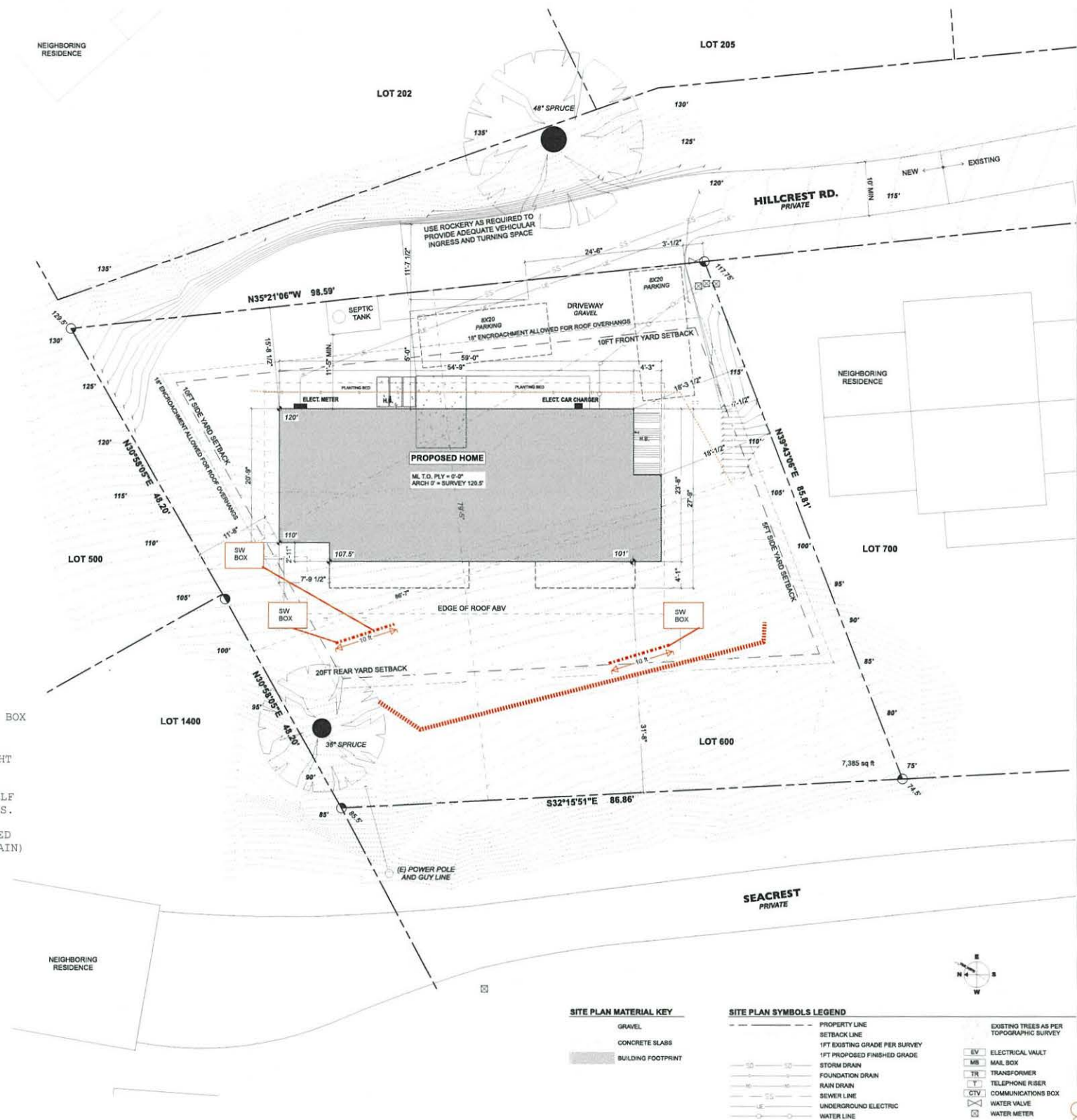
CUT SHELF IN NATIVE SOIL MIN. 2% SLOPE

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ph: 503-801-6016
www.morgancivil.com



- SW BOX STORMWATER COLLECTION BOX
- DRAIN PIPE, WATER-TIGHT
- DIFFUSION PIPE OR SHELF SEE DETAILS. CAP ENDS.
- AREA DRAINS, AS NEEDED (ALT: USE TRENCH DRAIN)
- FOUNDATION DRAIN EXTEND TO DAYLIGHT
- SILT FENCING

- SITE PLAN MATERIAL KEY**
- GRAVEL
 - CONCRETE SLABS
 - BUILDING FOOTPRINT
- SITE PLAN SYMBOLS LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - 1 FT EXISTING GRADE PER SURVEY
 - 1 FT PROPOSED FINISHED GRADE
 - STORM DRAIN
 - FOUNDATION DRAIN
 - RAIN DRAIN
 - SEWER LINE
 - UNDERGROUND ELECTRIC
 - WATER LINE
 - EXISTING TREES AS PER TOPOGRAPHIC SURVEY
 - EV ELECTRICAL VAULT
 - MB MAIL BOX
 - TR TRANSFORMER
 - TELEPHONE RISER
 - CTV COMMUNICATIONS BOX
 - WATER VALVE
 - WATER METER

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BATCHELDER/GAUEN RESIDENCE
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HILLCREST
NESKOWIN, OR 97149

STATUS: CONST.
DATE: 10/27/23
R2 12/04/23

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A0.3
DRAINAGE PLAN

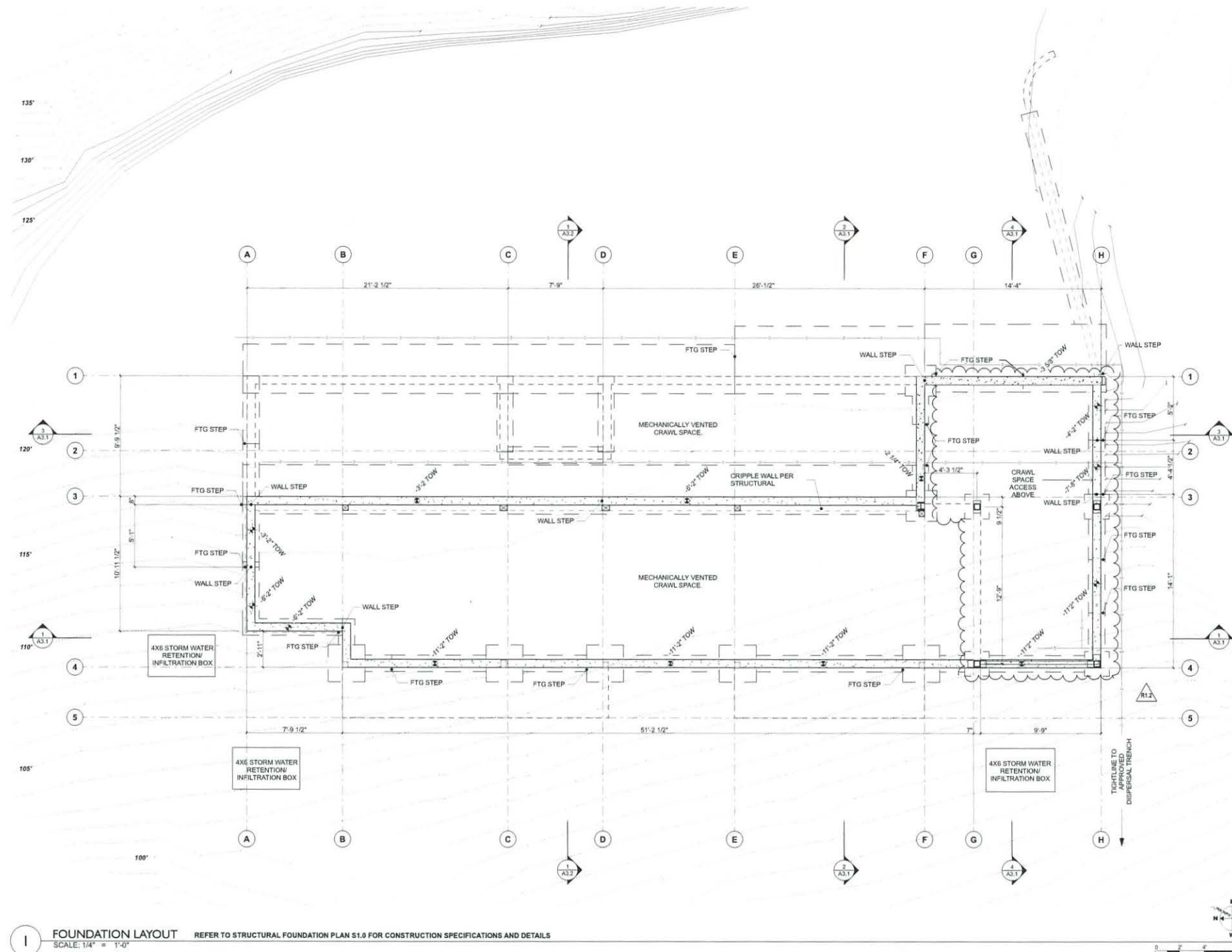
DRAINAGE PLAN
SCALE: 1/8" = 1'-0"

NOTES:

- 1 STAIRS SHALL HAVE A MAXIMUM RISE OF 8" AND MINIMUM RUN OF 10". RISE AND RUN ARE NOT TO VARY MORE THAN 3/8" ON ANY GIVEN STAIR. MINIMUM STAIR WIDTH IS 3'-0" FINISHED. MINIMUM HEADROOM IS 6'-8" FINISHED. TYPICAL FRAMING SHALL BE (3) 2x12 STRINGERS. SEE A4.3
- 2 STAIR RUNS WITH FOUR OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL. ALL HANDRAILS SHALL BE AT 34" ABOVE TREAD NOSING AND CONFORM TO USC HANDGRIP DIMENSIONS. ENSURE 1 1/2" MINIMUM BETWEEN INDEPENDANT HANDRAILS AND ADJACENT WALL OR GUARDRAIL. ENDS SHALL RETURN TO WALL OR NEWEL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS
- 3 GUARDRAILS SHALL BE AT A MINIMUM OF 34" HIGH FOR STAIR (MEASURED AT NOSING), 36" HIGH FOR ALL HORIZONTAL APPLICATIONS. INTERMEDIATE BARS/BALUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. SEE A4.4
- 4 STUV 30 WOOD BURNING STOVE OR SIMILAR W/OUTSIDE COMBUSTION AIR
- 5 ELECTRIC METER
- 6 HEAT PUMP WATER HEATER W/O OUTDOOR UNIT (RHEEM 65 GAL. SHOWN)
- 7 HYDRONIC RADIATOR
- 8 HYDRONIC RADIATOR/TOWEL WARMER ON A THERMOSTAT
- 9 ELECTRICAL PANEL. ENSURE 30" X 36" CLEAR FLOOR SPACE.
- 10 MICO INVERTERS INSTALLED WITH PV PANELS
- 11 BATTERY BANK (TESLA POWERWALL SHOWN)
- 12 ELECTRIC BOILER (VISSMEN VITOTRON 100 SHOWN)
- 13 ZEHNDER HRV W/ ZEHNDER COMFOTUBE SUPPLY AND RETURN
- 14 RADIANT HEAT MANIFOLDS
- 15 ELECTRIC CAR CHARGER

KEY:

- 10 V. HARD-WIRED SMOKE AND CARBON MONOXIDE DETECTOR W/ BATTERY AUXILIARY POWER CAPABILITY
- FD. FLOOR DRAIN
- H.B. HOSE BIB WITH FREEZE PROTECTION
- W. WALL TYPE MARKER. REFER TO A4.1
- DS OR RC. DOWNSPOUT OR RAINCHAIN
- 80CFM BATH/LAUNDRY EXHAUST FAN
- TILE FLOORING



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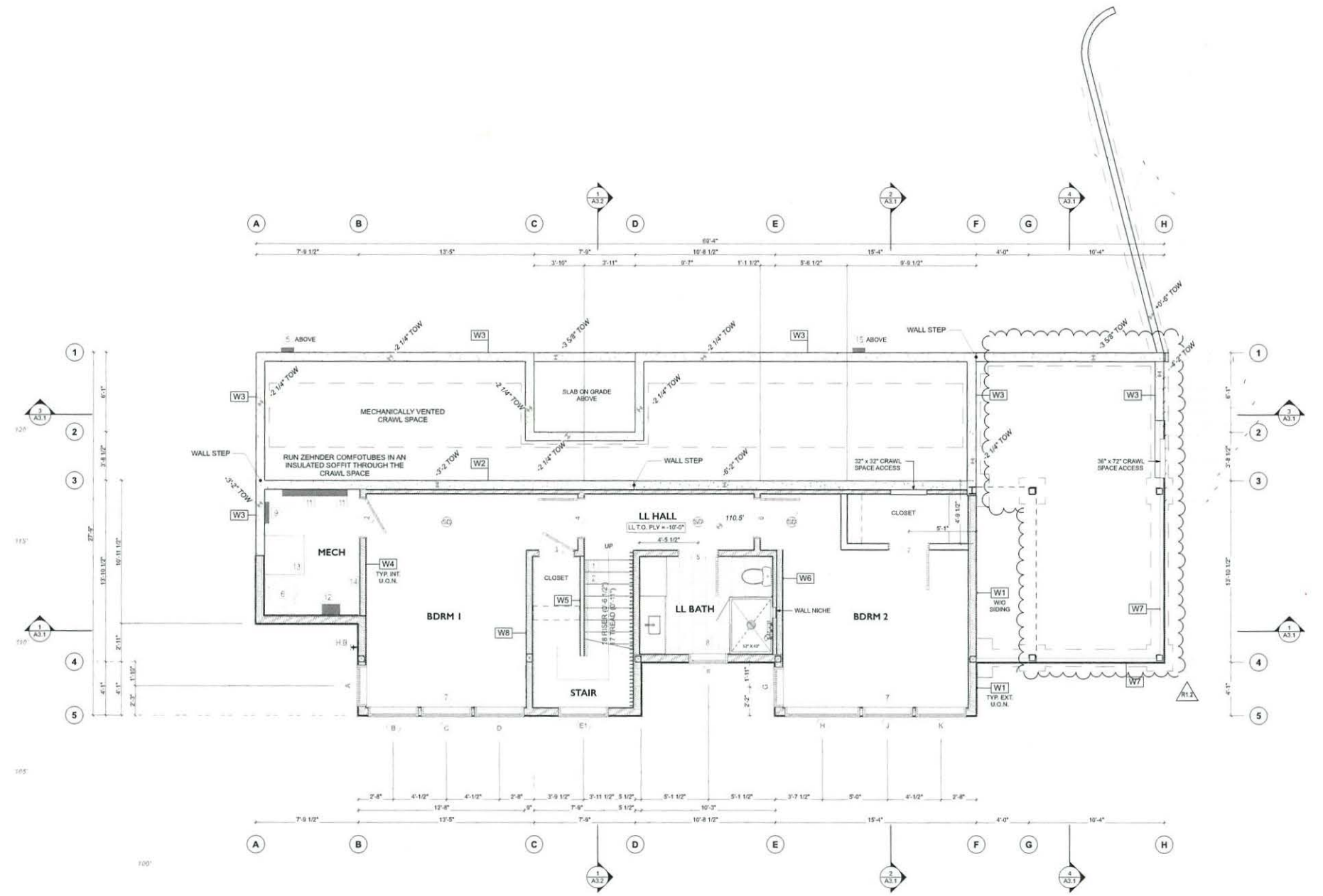
A1.1
FOUNDATION LAYOUT PLAN

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I LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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A1.2

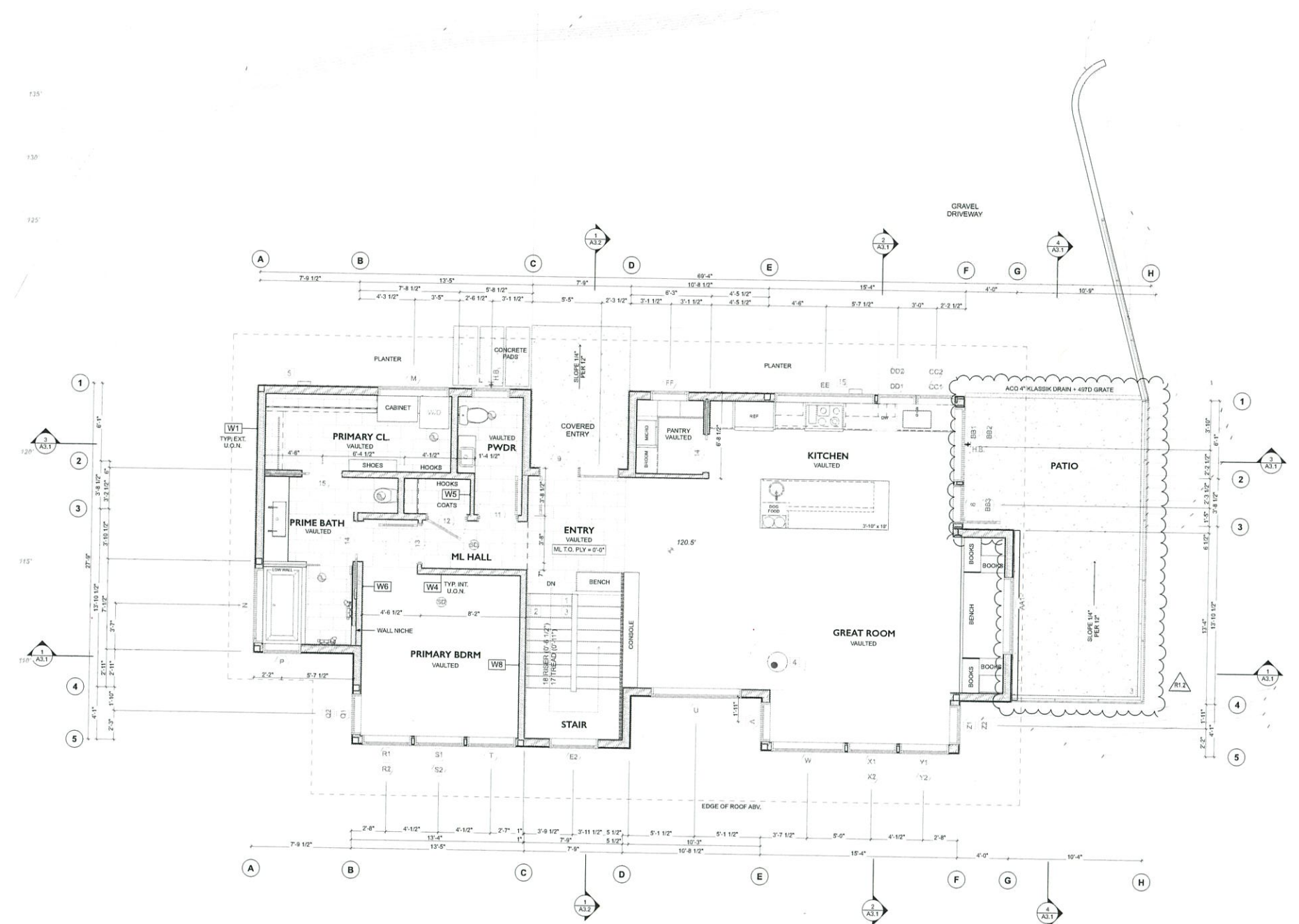
LOWER LEVEL FLOOR PLAN

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- 2 STAIR RUNS WITH FOUR OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL. ALL HANDRAILS SHALL BE AT 34" ABOVE TREAD NOSING AND CONFORM TO UBC HANDGRIP DIMENSIONS. ENSURE 1 1/2" MINIMUM BETWEEN INDEPENDANT HANDRAILS AND ADJACENT WALL OR GUARDRAIL. ENDS SHALL RETURN TO WALL OR NEWEL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS
- 3 GUARDRAILS SHALL BE AT A MINIMUM OF 34" HIGH FOR STAIR (MEASURED AT NOSING). 36" HIGH FOR ALL HORIZONTAL APPLICATIONS. INTERMEDIATE BARS/BALUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. SEE A4.4
- 4 STUV 30 WOOD BURNING STOVE OR SIMILAR W/OUTSIDE COMBUSTION AIR
- 5 ELECTRIC METER
- 6 HEAT PUMP WATER HEATER W/O OUTDOOR UNIT (RHEEM 65 GAL. SHOWN)
- 7 HYDRONIC RADIATOR
- 8 HYDRONIC RADIATOR/TOWEL WARMER ON A THERMOSTAT
- 9 ELECTRICAL PANEL. ENSURE 30" X 36" CLEAR FLOOR SPACE.
- 10 MICO INVERTERS INSTALLED WITH PV PANELS
- 11 BATTERY BANK (TESLA POWERWALL SHOWN)
- 12 ELECTRIC BOILER (VISSMEN VITOTRON 100 SHOWN)
- 13 ZEHNDER HRV W/ ZEHNDER COMFOTUBE SUPPLY AND RETURN
- 14 RADIANT HEAT MANIFOLDS
- 15 ELECTRIC CAR CHARGER

KEY:

- 10 V. HARD-WIRED SMOKE AND CARBON MONOXIDE DETECTOR W/ BATTERY AUXILIARY POWER CAPABILITY
- FD FLOOR DRAIN
- H.B. HOSE BIB WITH FREEZE PROTECTION
- W WALL TYPE MARKER. REFER TO A4.1
- DS OR RC DOWNSPOUT OR RAINCHAIN
- 80CFM BATH/LAUNDRY EXHAUST FAN
- TILE FLOORING



I MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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BATCHELDER/GAUGEN RESIDENCE
BRIAN BATCHELDER AND SUZANNE GAUGEN
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NESKOWIN, OR 97149

STATUS:	DATE:
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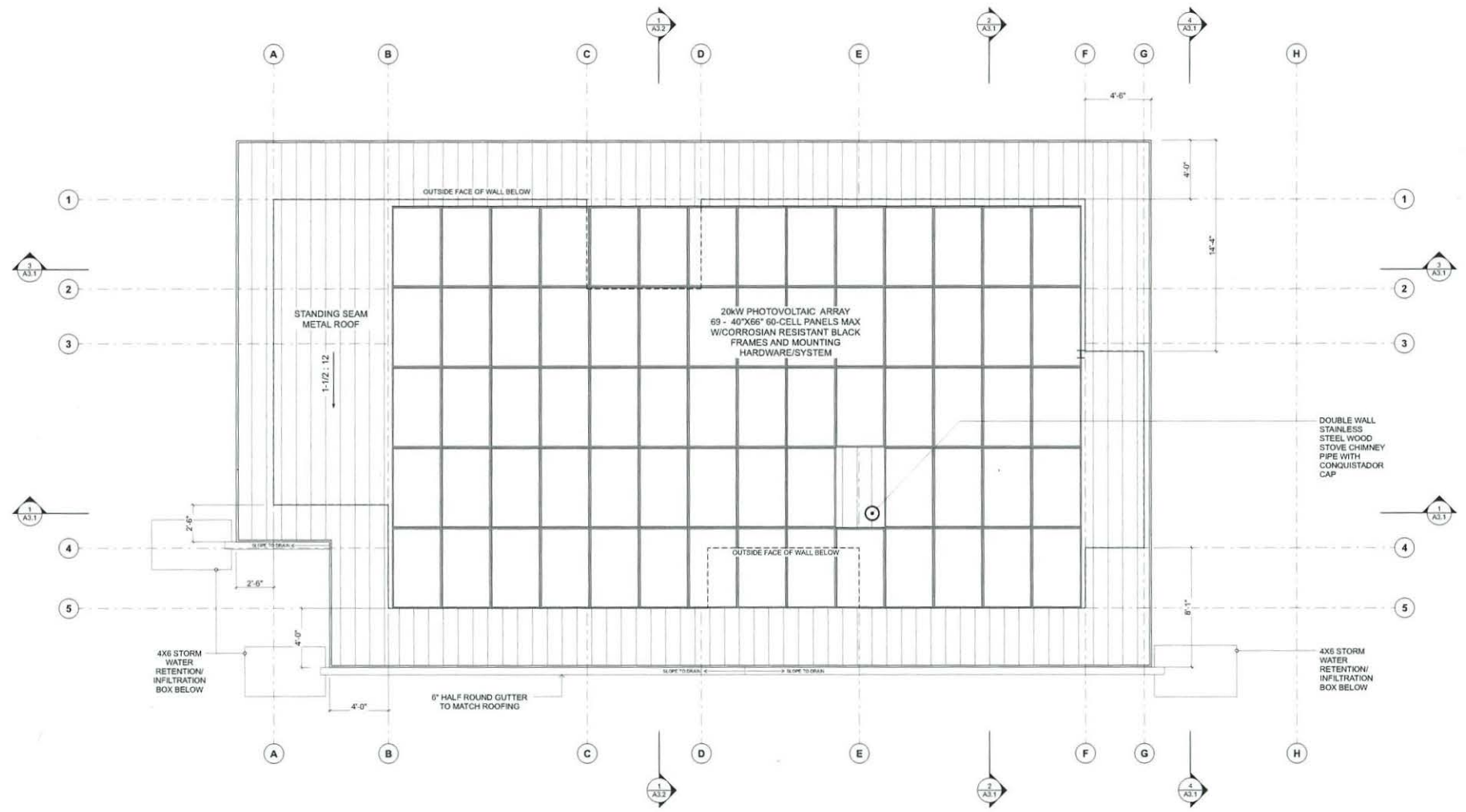
A1.3
MAIN LEVEL FLOOR PLAN

NOTES:

- 1 STAIRS SHALL HAVE A MAXIMUM RISE OF 8" AND MINIMUM RUN OF 10". RISE AND RUN ARE NOT TO VARY MORE THAN 3/8" ON ANY GIVEN STAIR. MINIMUM STAIR WIDTH IS 3'-0" FINISHED. MINIMUM HEADROOM IS 6'-8" FINISHED. TYPICAL FRAMING SHALL BE (3) 2x12 STRINGERS. SEE A5.3
- 2 STAIR RUNS WITH FOUR OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL. ALL HANDRAILS SHALL BE AT 34" ABOVE TREAD NOSING AND CONFORM TO UBC HANDGRIP DIMENSIONS. ENSURE 1 1/2" MINIMUM BETWEEN INDEPENDANT HANDRAILS AND ADJACENT WALL OR GUARDRAIL. ENDS SHALL RETURN TO WALL OR NEWEL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS
- 3 GUARDRAILS SHALL BE AT A MINIMUM OF 36" HIGH FOR STAIR (MEASURED AT NOSING). 38" HIGH FOR ALL HORIZONTAL APPLICATIONS. INTERMEDIATE BARS/BALUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. SEE A4.4
- 4 STUV 30 WOOD BURNING STOVE OR SIMILAR W/OUTSIDE COMBUSTION AIR
- 5 ELECTRIC METER
- 6 HEAT PUMP WATER HEATER W/O OUTDOOR UNIT (RHEEM 65 GAL. SHOWN)
- 7 HYDRONIC RADIATOR
- 8 HYDRONIC RADIATOR/TOWEL WARMER ON A THERMOSTAT
- 9 ELECTRICAL PANEL. ENSURE 30" X 36" CLEAR FLOOR SPACE.
- 10 MICO INVERTERS INSTALLED WITH PV PANELS
- 11 BATTERY BANK (TESLA POWERWALL SHOWN)
- 12 ELECTRIC BOILER (VISSMEN VITOTRON 100 SHOWN)
- 13 ZEHNDER HRV W/ ZEHNDER COMFOTUBE SUPPLY AND RETURN
- 14 RADIANT HEAT MANIFOLDS
- 15 ELECTRIC CAR CHARGER

KEY:

- 10 V. HARD-WIRED SMOKE AND CARBON MONOXIDE DETECTOR W/ BATTERY AUXILIARY POWER CAPABILITY
- FD. FLOOR DRAIN
- HB. HOSE BIB WITH FREEZE PROTECTION
- W. WALL TYPE MARKER. REFER TO A4.1
- DS OR RC. DOWNSPOUT OR RAINCHAIN
- 80CFM BATH/LAUNDRY EXHAUST FAN
- TILE FLOORING



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

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A1.4
ROOF PLAN

GENERAL NOTES:

- USE CEDAR TRIM BOARDS BETWEEN WINDOWS SPACED LESS THAN 8.5' APART
- ALL EXPOSED FLASHING SHALL BE MARINE GRADE STAINLESS STEEL UNO
- ALL ROOF EDGE FLASHING, GUTTERS & DOWNSPOUTS SHALL BE DARK BRONZE TO MATCH THE ROOFING

KEY NOTES:

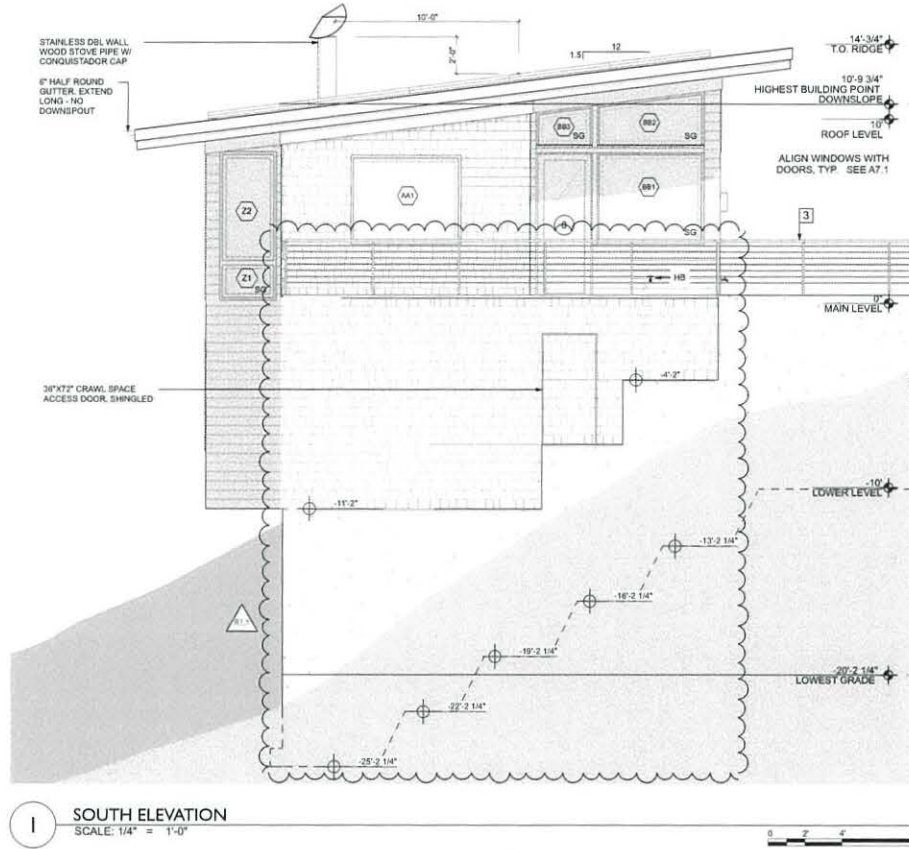
- STAIRS SHALL HAVE A MAXIMUM RISE OF 8" AND MINIMUM RUN OF 10". RISE AND RUN ARE NOT TO VARY MORE THAN 3/8" ON ANY GIVEN STAIR. MINIMUM STAIR WIDTH IS 3'-0" FINISHED. MINIMUM HEADROOM IS 6'-8" FINISHED. TYPICAL FRAMING SHALL BE (3) 2x12 STRINGERS. SEE A5.3
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- STUV 30 WOOD BURNING STOVE OR SIMILAR W/OUTSIDE COMBUSTION AIR
- ELECTRIC METER
- HEAT PUMP WATER HEATER W/O OUTDOOR UNIT (RHEEM 65 GAL. SHOWN)
- HYDRONIC RADIATOR
- HYDRONIC RADIATOR/TOWEL WARMER ON A THERMOSTAT
- ELECTRICAL PANEL. ENSURE 30" X 36" CLEAR FLOOR SPACE.
- MICO INVERTERS INSTALLED WITH PV PANELS
- BATTERY BANK (TESLA POWERWALL SHOWN)
- ELECTRIC BOILER (VIESSMEN VITOTRON 100 SHOWN)
- ZEHNDER HRV W/ ZEHNDER COMFOTUBE SUPPLY AND RETURN
- RADIANT HEAT MANIFOLDS
- ELECTRIC CAR CHARGER

KEY:

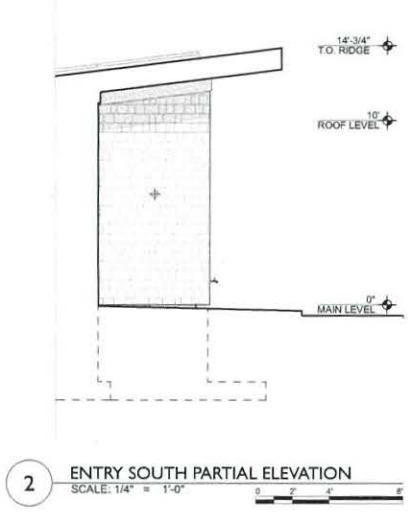
- 10 V. HARD-WIRED SMOKE AND CARBON MONOXIDE DETECTOR W/ BATTERY AUXILIARY POWER CAPABILITY
- F.D. FLOOR DRAIN
- H.B. HOSE BIB WITH FREEZE PROTECTION
- WALL TYPE MARKER. REFFER TO A4.1

EXTERIOR MATERIAL LEGEND

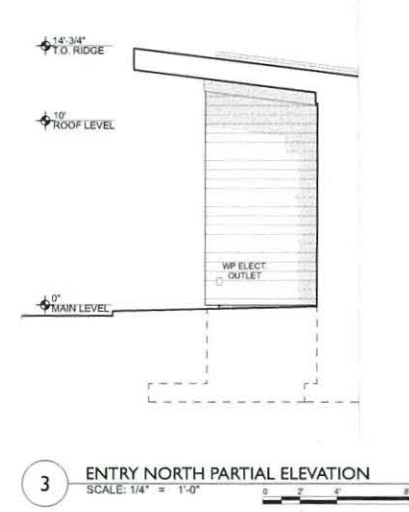
- CONCRETE**
PANEL FORMED WITH INTEGRAL DAVIS COLORANT "GRAPHITE" (#60 IRON OXIDE), PENETRATING SEALER
 - CERTIGRADE RED CEDAR SHINGLES**
NUMBER 1 BLUE LABEL, 16" TALL X 5/2", 6" EXPOSURE
NO STAIN, LEFT TO WEATHER NATURALLY
 - WESTERN RED CEDAR SHIPLAP SIDING**
"A" CLEAR TO PIN KNOTS, 1X6 CHANNEL SIDING OR SIM.
NO STAIN, LEFT TO WEATHER NATURALLY
 - STANDING SEAM METAL ROOF**
TAYLOR METAL "VERSA SPAN", 12" PANELS IN DARK BRONZE
- SOFFITS: CEDAR FINELINE T & G
FASCIA: CEDAR
EXT WINDOW TRIM: NONE
WINDOW EXT CLADDING:
- COLOR: WEATHERED GRAY
COLOR: WEATHERED GRAY
COLOR: WEATHERED GRAY
COLOR: ANDERSEN FIBERGLASS "DARK BRONZE"



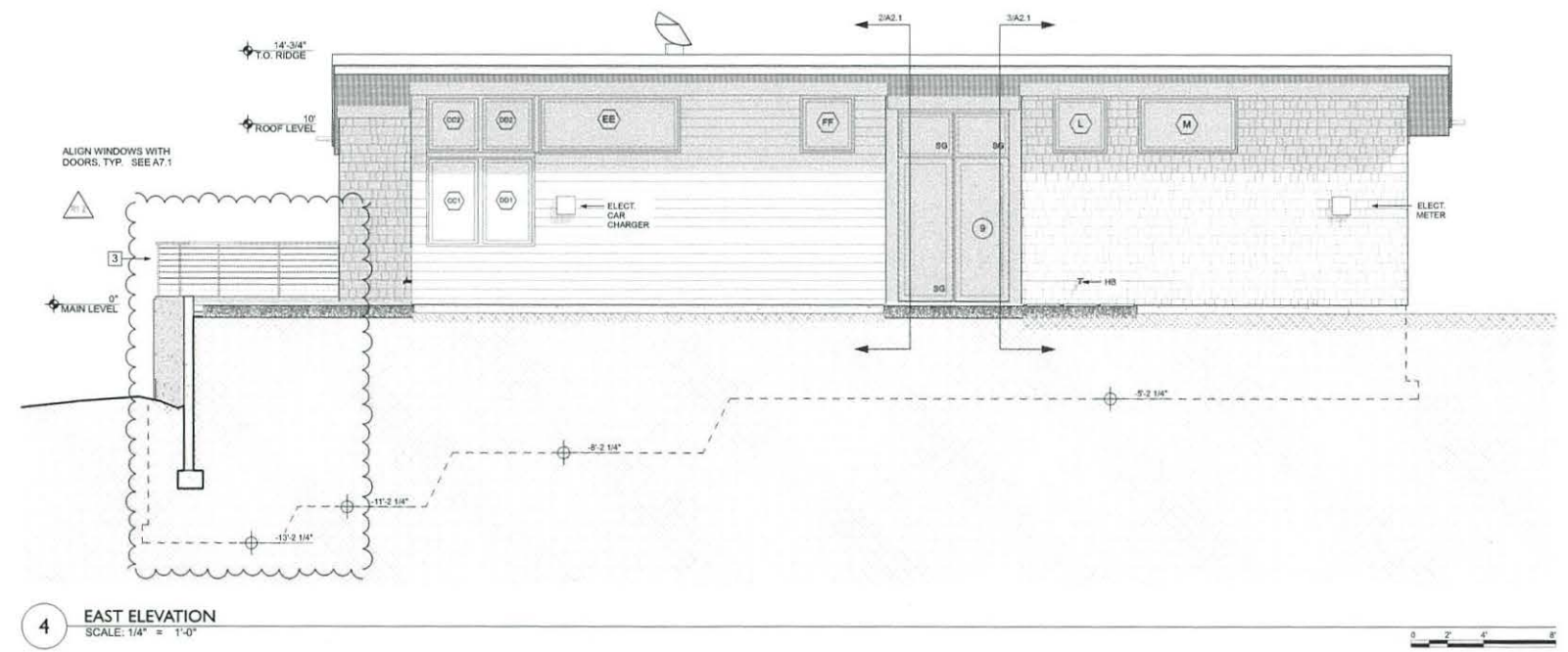
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 ENTRY SOUTH PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



3 ENTRY NORTH PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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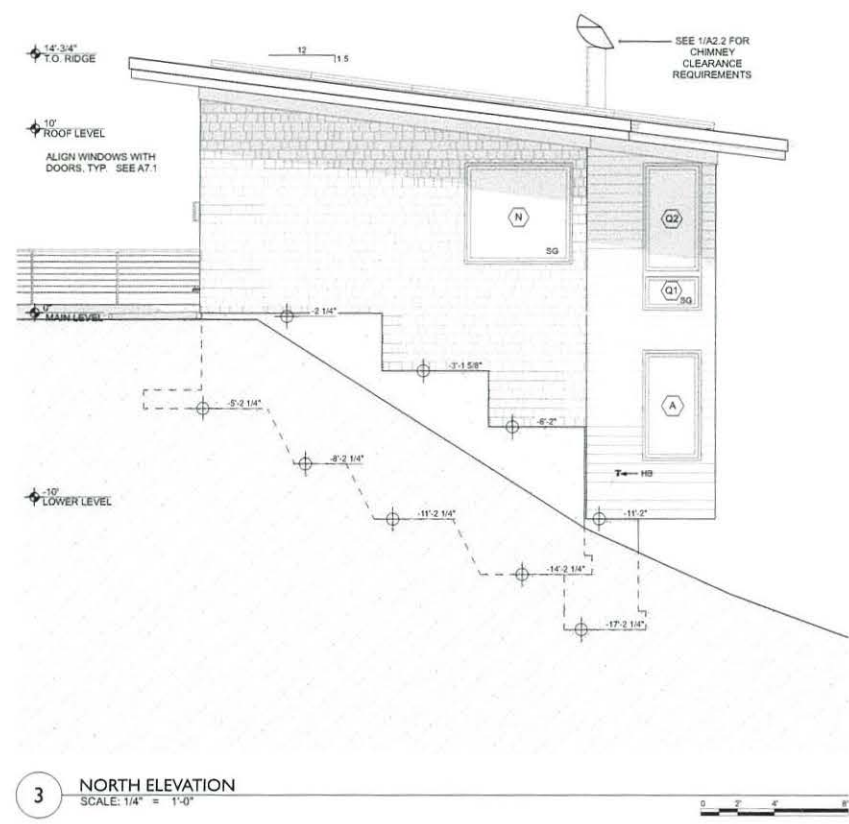
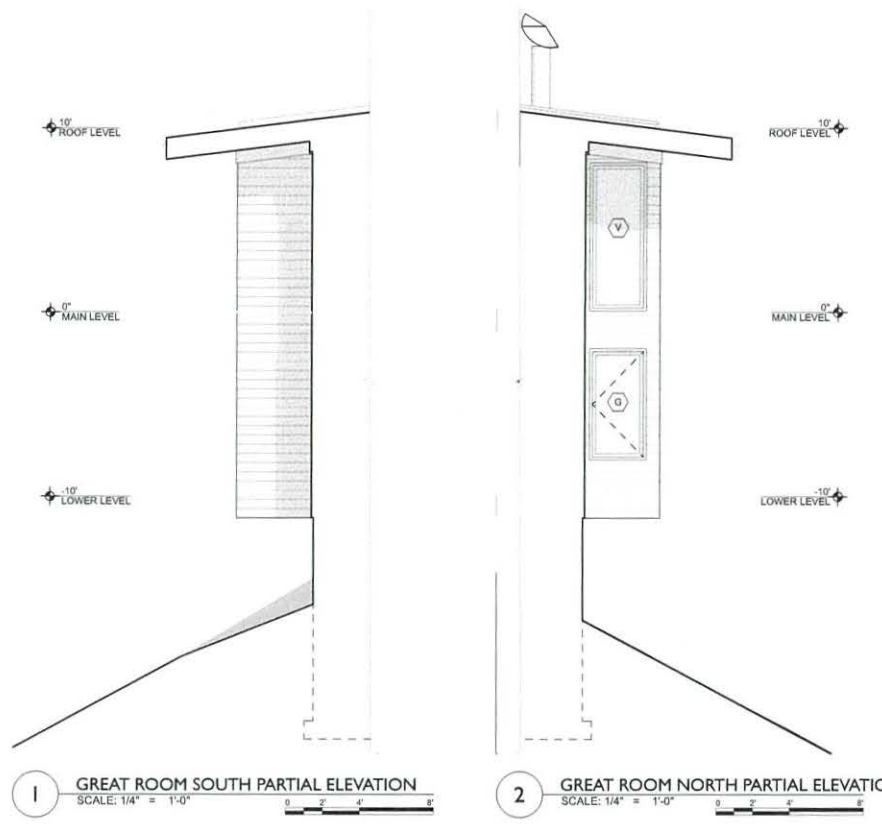
REGISTERED ARCHITECT
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SALEM, OREGON
STATE OF OREGON

BATCHELDER/GAUVEN RESIDENCE
BRIAN BATCHELDER AND SUZANNE GAUVEN
HILLCREST
NESKOWIN, OR 97149

STATUS:	DATE:
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A2.1
ELEVATIONS



GENERAL NOTES:

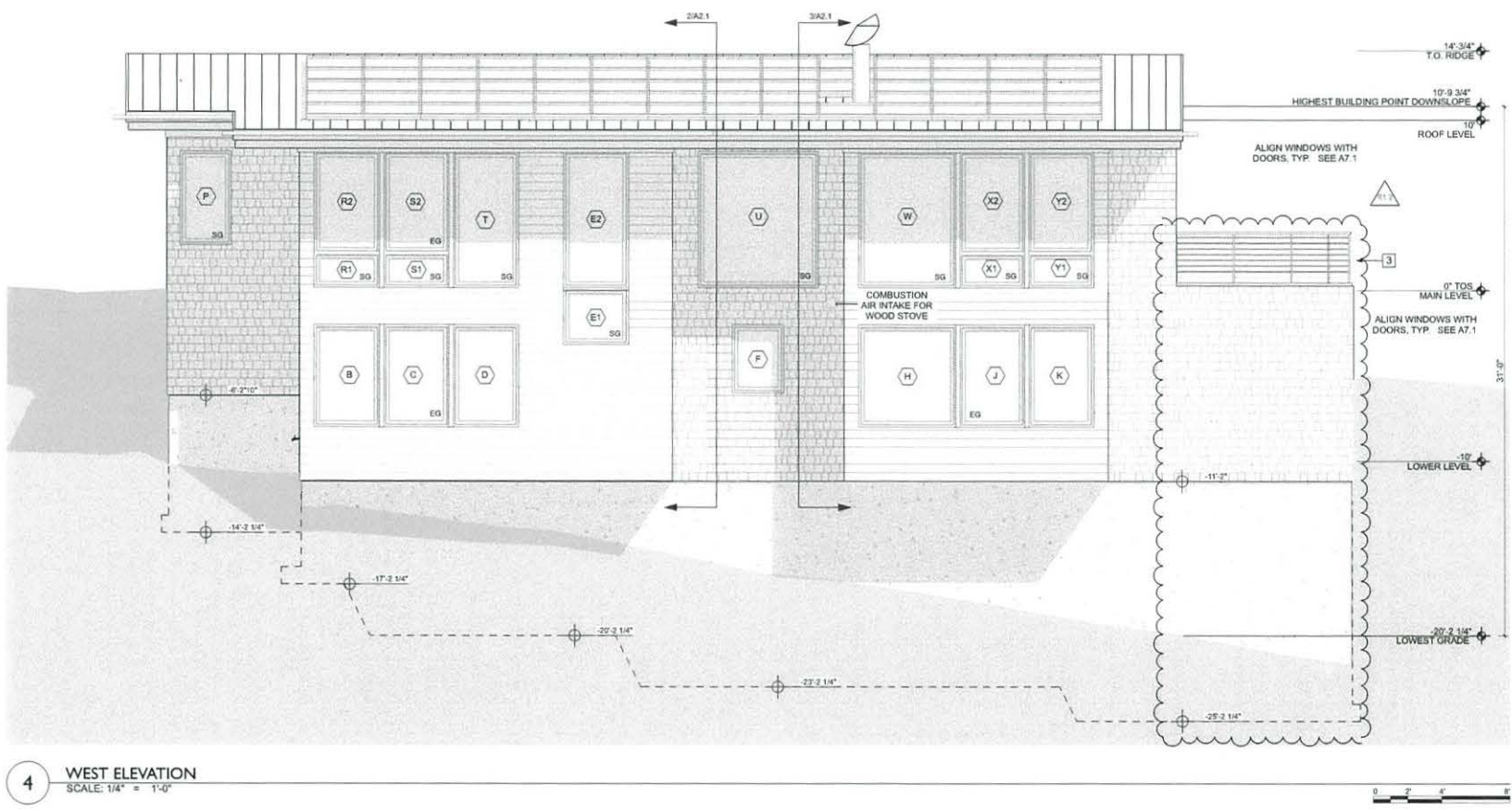
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KEY:

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- FD ○ FLOOR DRAIN
- HB - HOSE BIB WITH FREEZE PROTECTION
- WALL TYPE MARKER, REFER TO A4.1



EXTERIOR MATERIAL LEGEND

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PANEL FORMED WITH INTEGRAL DAVIS COLORANT "GRAPHITE" (860 IRON OXIDE), PENETRATING SEALER
 - CERTIGRADE RED CEDAR SHINGLES**
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 FASCIA: CEDAR COLOR: WEATHERED GRAY
 EXT WINDOW TRIM: NONE COLOR: WEATHERED GRAY
 WINDOW EXT CLADDING: COLOR: ANDERSEN FIBERGLASS "DARK BRONZE"

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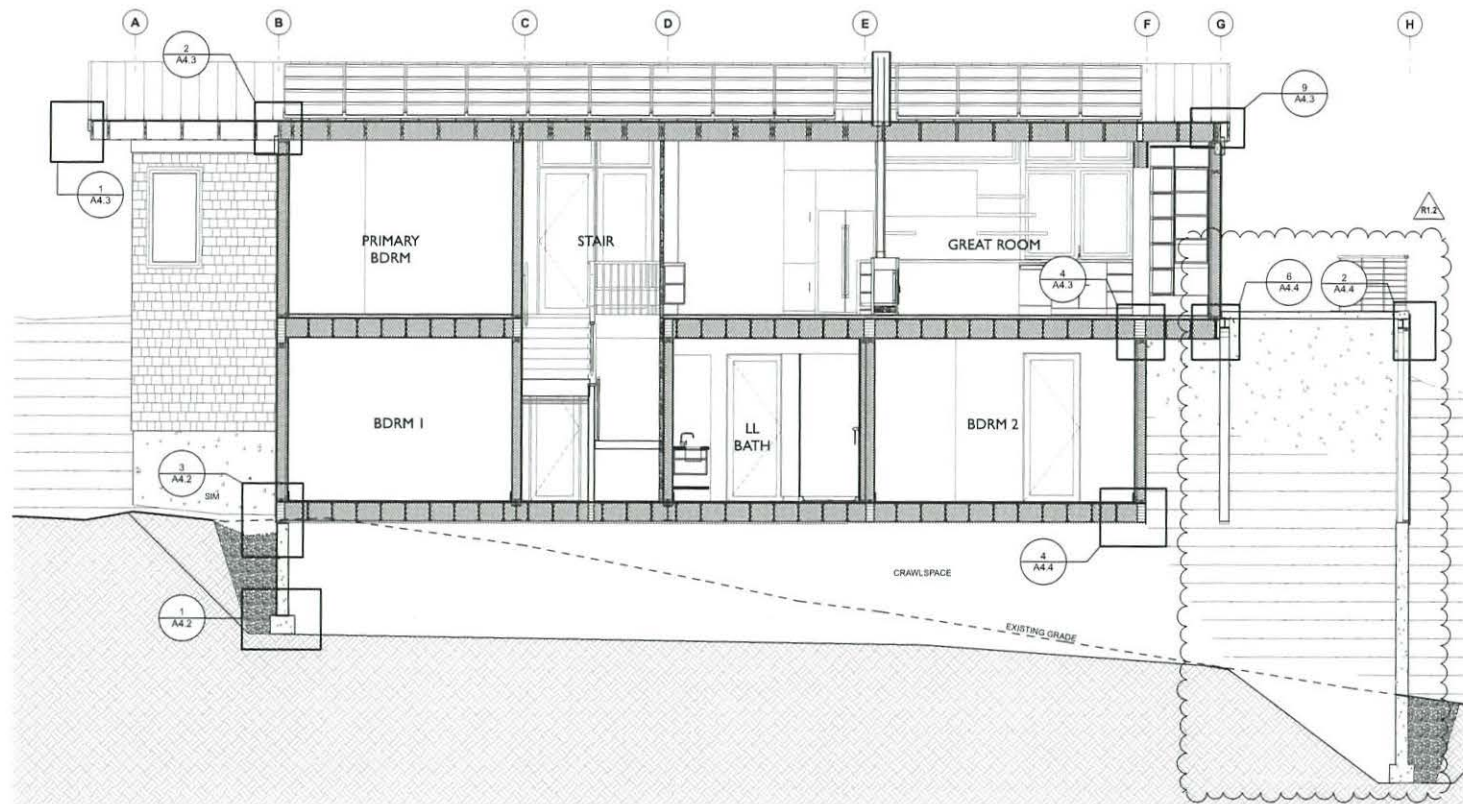
BATCHELDER/GAUVEN RESIDENCE
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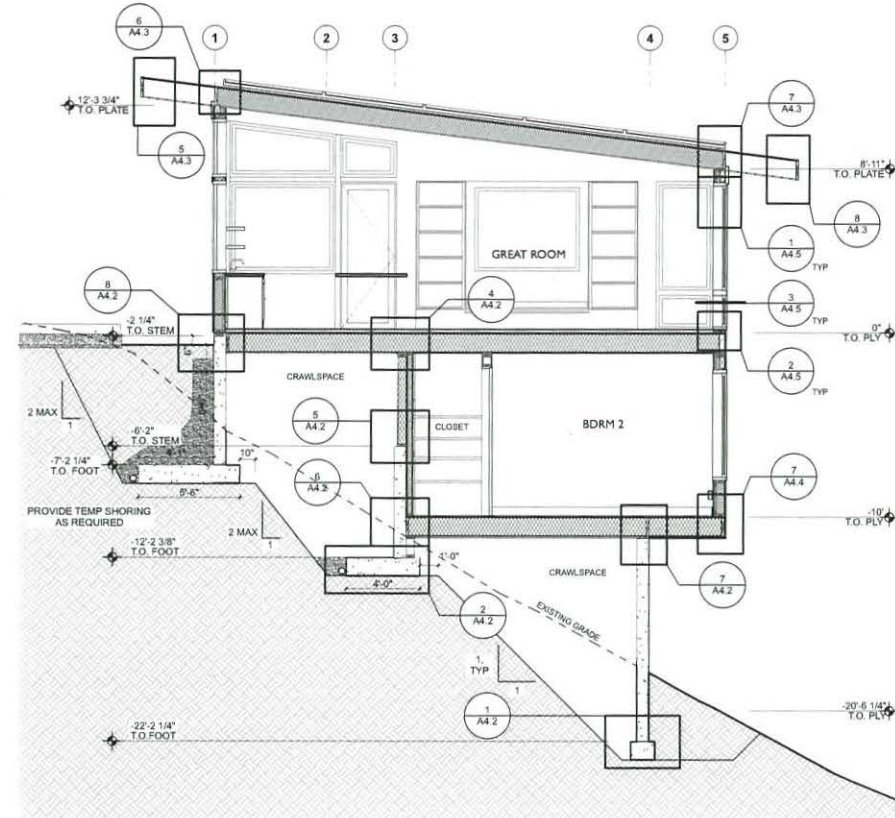
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A2.2

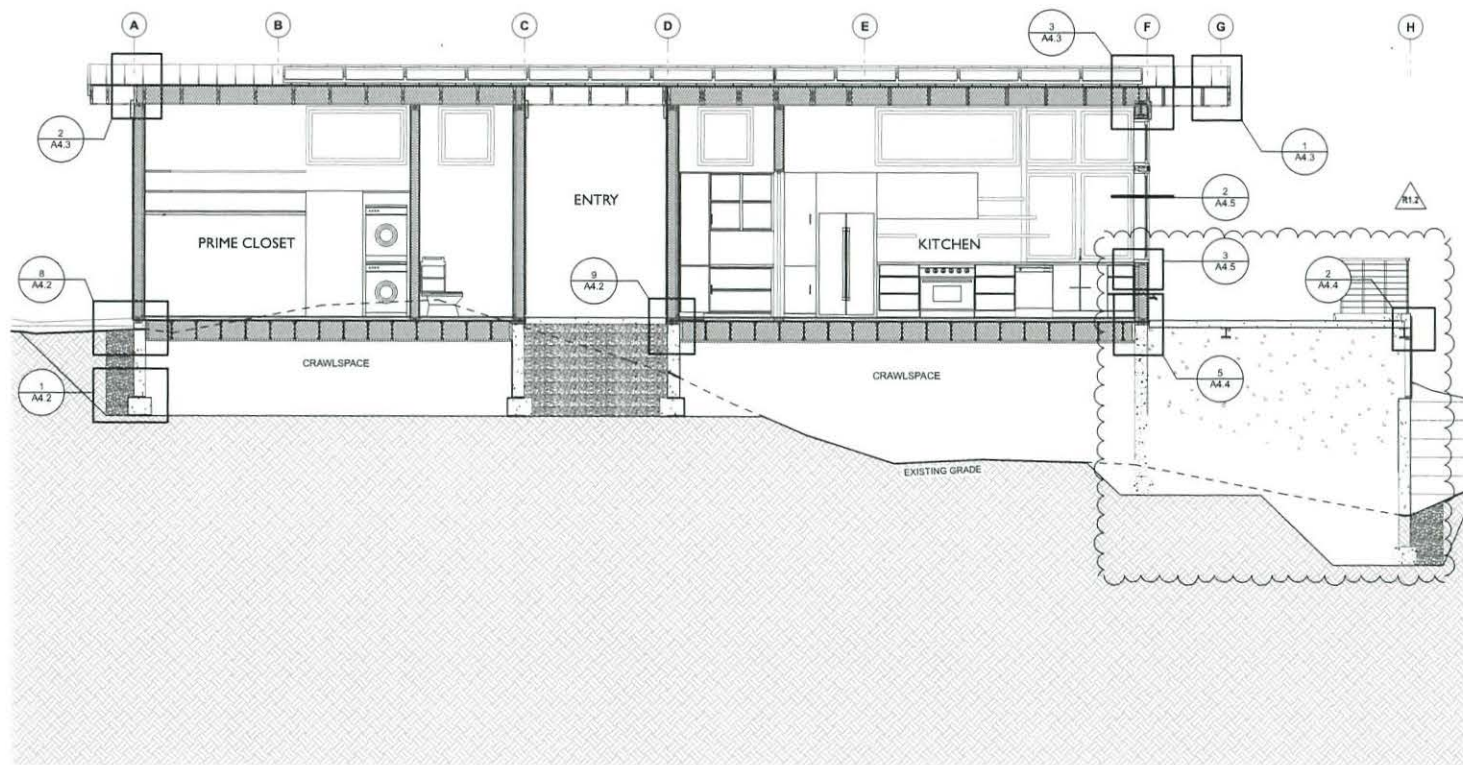
ELEVATIONS



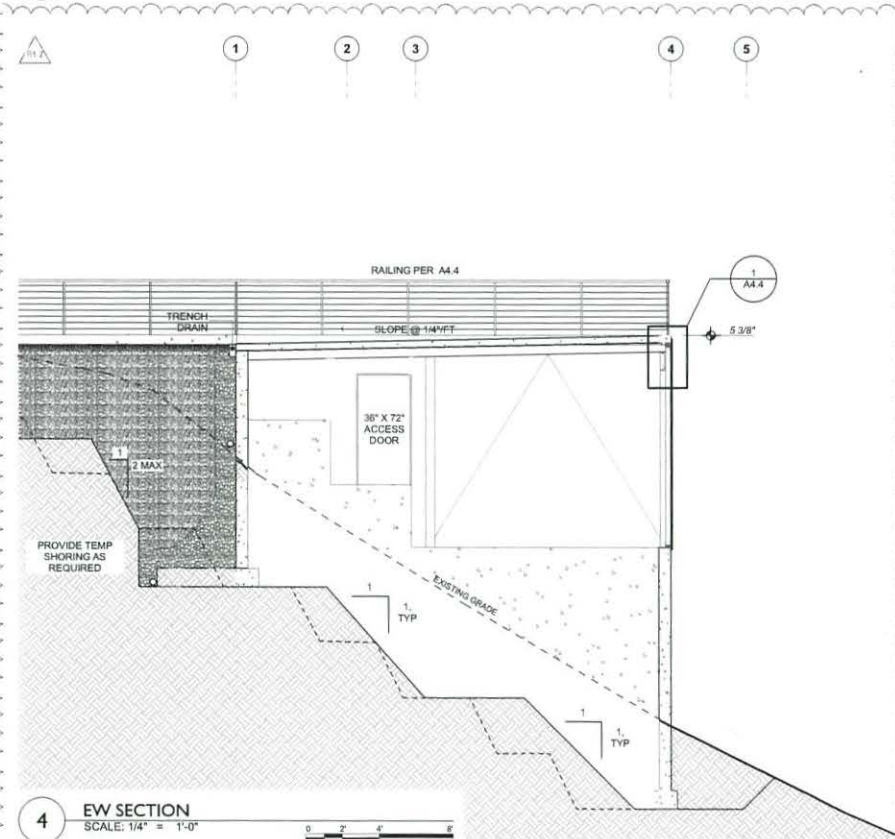
1 NS SECTION
SCALE: 1/4" = 1'-0"



2 EW SECTION
SCALE: 1/4" = 1'-0"



3 NS SECTION
SCALE: 1/4" = 1'-0"



4 EW SECTION
SCALE: 1/4" = 1'-0"

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A3.1
SECTIONS

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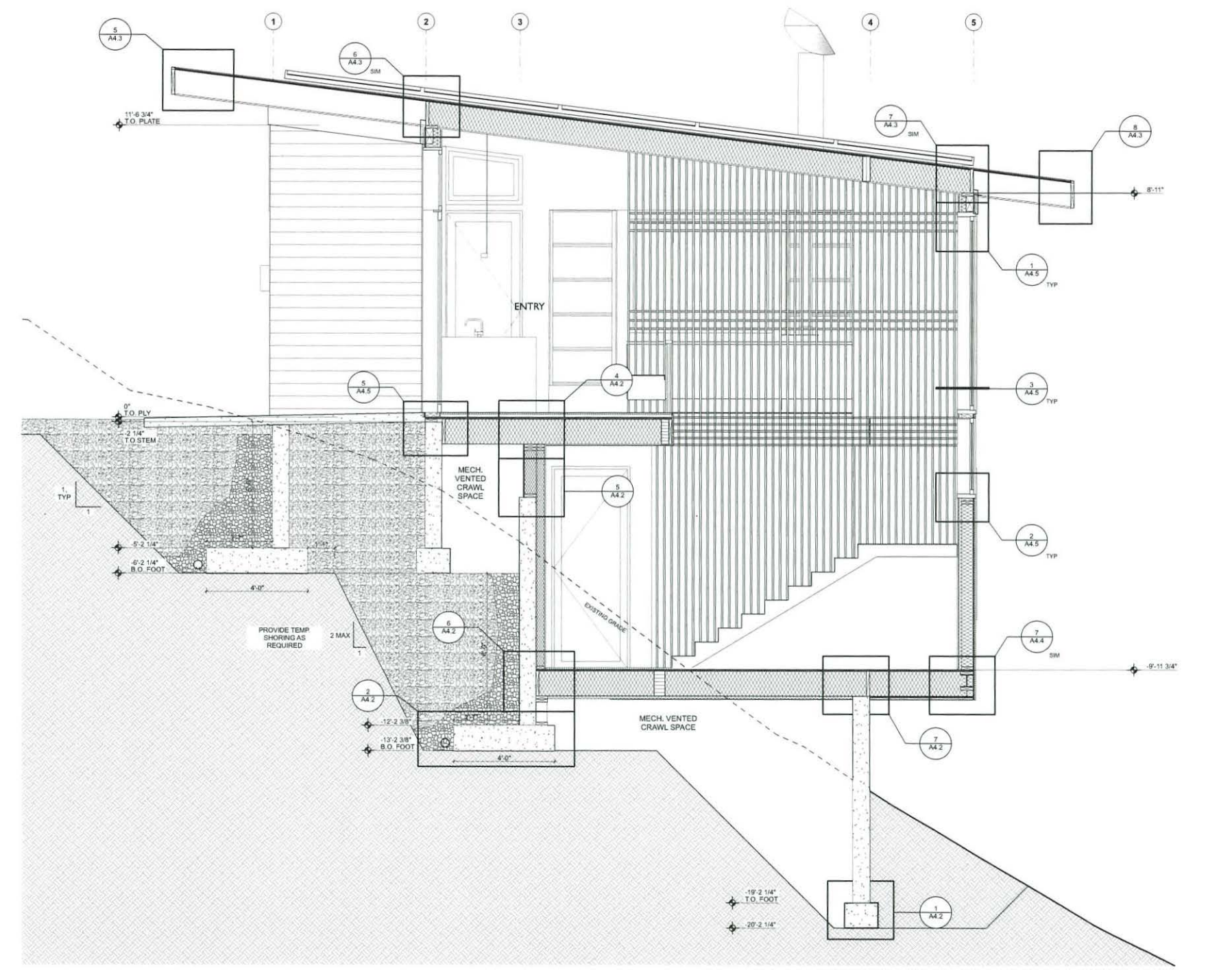
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A3.2

SECTIONS



EW SECTION
SCALE: 1/2" = 1'-0"

