



*Land of Cheese, Trees and Ocean Breeze*

# MEMO

**Date:** July 3, 2024  
**To:** Tillamook County Planning Commission  
**From:** Melissa Jenck, Senior Planner, CFM  
**Subject:** July 11, 2024, Planning Commission Hearing – Nehalem Bay State Park Master Plan Update

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Included in this packet is a copy of the staff report and related materials regarding Conditional Use application #851-24-000192-PLNG. The proposal is to update the local Master Plan, required every 10-years in the Recreation Management (RM) zone.

Applicants' Master Plan includes bathroom buildings, utility improvements to existing RV sites, road improvements and creation, new group lodging and camp sites, additional parking areas, relocation of dump station and relocation of hiker/biker campsites. The expected number of new sites is approximately 93-sites, including 24 cabins, 5 group sites, 50 RV/tent sites, 8 additional hiker/biker tent sites, and six (6) host sites (Exhibit B).

Comments were received on this request from Tillamook County Public Works, Nehalem Bay Fire District, and the general public. The Applicants submittal includes comments from Oregon Department of Transportation (ODOT) and Tillamook County Public Works. Tillamook County Public Works will have a representative present during the July 11, 2024 hearing, and will be available for questions.

Please note that the proposed development is also subject to other rules and regulations administered by other agencies such as DEQ, the Oregon Health Authority and the Department of Consumer and Business Services, Building Codes Division, etc. Consideration of the proposed development's compliance with those regulations administered by other agencies or departments is outside of the scope of this review, though a land use approval may be conditioned on Applicant's compliance with such regulations and their ability to obtain all required permits from such entities.

Comments were received from the Applicant after the Staff report and packet were prepared. Staff have included their comments, but acknowledge there has been no review of these materials at this time. Materials appear to be a copy of the Nehalem Bay Fire District service letter for host sites currently being placed. These materials are included in 'Exhibit B – Additional Information'.

If you have any questions about the information received, please do not hesitate to contact me. Thank You,

*Melissa Jenck*

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Land of Cheese, Trees and Ocean Breeze

**CONDITIONAL USE REQUEST**  
**#851-24-000192-PLNG: NEHALEM BAY STATE PARK MASTER PLAN**  
**RECREATIONAL CAMPGROUND**  
**STAFF REPORT**

Date: July 3, 2024



(This is not Building or Placement Permit Approval)

Report Prepared by: Melissa Jenck, Senior Planner, CFM

**I. GENERAL INFORMATION:**

- Request:** Request for Conditional Use approval to update the Master Plan for Nehalem Bay State Park.
- Location:** Located at off Garey Street, a County road, the subject properties are located adjacent to the City of Manzanita, and designated as Tax Lot 100 of Index Section 00, Township 2 North, Range 10 West of the Willamette Meridian, and Tax Lot 300 of Section 32 & Tax Lot 1700 of Section 33, Township 3 North, Range 10 West of the Willamette Meridian, Tillamook County, Oregon.
- Zone:** Recreation Management (RM)
- Applicant:** Tracy Johnson, 725 Summer Street NE, Salem, OR 97301
- Property Owner:** Oregon State Parks and Recreation, 725 Summer Street NE, Suite C, Salem, OR 97301

**Property Description:** The subject property encompasses approximately 1034.87-acres, abutting the City of Manzanita’s Urban Growth Boundary (UGB) (Exhibit A). Garey Street, a County road, serves off Necarney City Road, a County Road, for access into the subject property (Exhibit A). The property is currently improved with an existing recreational campground with recreational vehicle (RV) sites, tent and yurt sites, hiker/biker campsites, and an equestrian camp, along with existing staff cabins and facilities, a meeting hall, a small airport, and a boat launch (Exhibit A & B). The state park currently maintains 314 sites (Exhibit B).

The subject property is zoned Recreation Management (RM) (Exhibit A). The property abuts the Pacific Ocean upon its westerly boundary, and the Nehalem River/Bay primarily upon its easterly boundary (Exhibit A & B). The property neighbors residentially zoned properties located primarily to the north which are contained within the City of Manzanita’s city and UGB boundaries, zoned Manzanita’s Medium Density Residential (R2), Residential Manufactured Dwelling (RMD) and Special



Residential/Recreational (SRR) zones (Exhibit A). These residential properties are predominately improved with residential development (Exhibit A). Adjacent Rural Commercial (RC) zoned properties are located to the east and west. The subject property abuts the Nehalem River/Bay to the east, where Estuary Natural (EN) zone is present.

The subject property has variable slopes and terrain throughout the property, with foredunes present along the westerly portions and low-lying throughout the property, and steep slopes and terrain located upon the northeasterly portion (Exhibit A). The existing improved campground is primarily located within the level areas near the middle of the subject property (Exhibit A & B). Proposed improvements are located within level areas (Exhibit A & B).

The tract within areas described as areas of shallow landslide susceptibility as described in DOGAMI Open File Report O-20-13 as (Exhibit A). The tract also contained numerous dune areas, including Active Fore dune, Stabilized Fore dune, Younger Stabilized Dune, Interdune, Older Stabilized Dune, and Beach as identified in DOGAMI Open File Report O-20-04 (Exhibit A). The proposed improvements are contained within Younger Stabilized Dunes and Interdune areas (Exhibit A & B).

Wetlands features are present throughout the parcel, predominately Freshwater Emergent Forested Shrub wetlands in the southerly portion and located in the general area of the existing improved locations (Exhibit A). Proposed improvements are located outside of existing mapped wetland features (Exhibit A & B). The property abuts the Nehalem River/Bay along its easterly boundary (Exhibit A). The subject property is primarily outside the mapped Special Flood Hazard Area (SFHA), with areas along the easterly boundary maintaining a "AE" zone as detailed on the FEMA FIRM 41057C0208F and 41057C0216F dated September 28, 2018 (Exhibit A).

The current request is for conditional use approval update a Master Plan for the Nehalem Bay State Park. The proposed Master Plan includes bathroom buildings, utility improvements to existing RV sites, road improvements and creation, new group lodging and camp sites, additional parking areas, relocation of dump station and relocation of hiker/biker campsites (Exhibit B). The expected number of new sites is approximately 93-sites, including 24 cabins, 5 group sites, 50 RV/tent sites, 8 additional hiker/biker tent sites, and six (6) host sites (Exhibit B).

## **II. APPLICABLE ORDINANCE AND COMPREHENSIVE PLAN PROVISIONS:**

The desired use is governed through the following Sections of the Tillamook County Land Use Ordinance (TCLUO). The suitability of the proposed use, in light of these requirements and criteria, is discussed in Sections III, IV and V of this report:

### Section III

- A. Section 3.040: Recreation Management (RM) Zone
- B. Section 3.102: Estuary Natural (EN) Zone
- C. Section 3.510: Flood Hazard Overlay Zone (FH)
- D. Section 3.530: Beach and Dune Hazard (BD) Overlay
- E. Section 3.545: Shoreland Overlay
- F. Section 3.555: Freshwater Wetlands Overlay
- G. Section 4.030: Off-Street Parking and Off-Street Loading Requirements
- H. Section 4.130: Development Requirements for Geologic Hazard Areas
- I. Section 4.140: Requirements for Protection of Water Quality and Streambank Stabilization
- J. Section 4.160: Protection of Archeological sites
- K. Section 5.030: Recreational Campground Standards

### Section IV

- A. Article VI: Conditional Use Procedures and Criteria

Section V

B. Article X: Administrative Provisions

**III. ANALYSIS OF STADARDS:**

**A. TCLUO SECTION 3.040: RECREATION MANAGEMENT (RM) ZONE**

*(2) USES PERMITTED OUTRIGHT: In the RM zone, the following uses and their accessory uses are permitted outright, subject to all applicable supplementary regulations contained in this Ordinance:*

- (a) Maintenance and operation of existing structures and facilities.*
- (b) Recreational improvements and additions necessary to serve the same numbers and densities of visitors served by the existing facilities, provided that off-site impacts are not increased. Such facilities include picnic areas, playgrounds, pavilions, maintenance buildings, tennis courts, and swimming pools.*
- (c) Single- or multiple-unit dwellings or residential quarters for caretakers and staff members necessary to serve existing facilities.*
- (d) Utility lines, excluding power transmission lines.*

**Findings:** The subject property is zoned Recreation Management (RM) (Exhibit A). Applicants' proposal includes:

- two (2) new bathroom/shower buildings to be located in Camp Loop C and D, respectively,
- a new restroom near the equestrian loop,
- connect sewer to five (5) existing RV sites for hosts,
- Six (6) new host sites, (2) near the Horse Concessionaire Loop, (2) at Cabin Loop, and (2) at the Camp Loop,
- water/sewer and electrical upgrades to (164) sites located within Loops D, E, F and the equestrian camp loop,
- water system upgrades to replace distribution lines and pedestals,
- extending existing sewer line to host sites,
- new pump station by horse corrals for sewage to boat ramp pump station,
- electrical upgrades to horse concessionaire area to serve pump station and host sites,
- widening of existing road entrance from Sandpiper Lane,
- North Day Use lot improvements for re-striping parking area, trail connection to Glennesslin Lane,
- Reconfigure boat ramp for additional stalls to include ADA-compliant parking spaces and pathways,
- Boat ramp repairs, including wave attenuators and debris booms, and
- Connection to the Oregon Coast Trail, with a connection from Neptune Way to the park entrance for a multiuse path (Exhibit B)

Staff find the proposed development described above are allowed outright in the RM zone. Proposed development will be required to comply with those applicable standards, detailed below in the staff report, including Flood Hazard (FH) Overlay, Beach and Dune Hazard (BD) Overlay, Development Requirements for Geologic Hazard Areas, and Requirements for Water Quality and Streambank Stabilization. Staff find these proposed developments are allowed outright.

*(3) USES PERMITTED CONDITIONALLY: In the RM zone, the following uses and their accessory uses are permitted subject to the provisions of Article 6 and the requirements of all applicable supplementary regulations contained in this Ordinance:*

- (a) Recreation campgrounds, primitive campgrounds and group lodging facilities such as dormitories for visitors, but not including commercial motels, hotels, or group cottages.*
- (b) Meeting and recreational facilities that will increase visitor capacity or off-site impacts.*

**Findings:** Applicants proposal includes:

- Fourteen (14) new cabins located in northwest portion of the property,



- New parking area for overflow at Boat Ramp, located in the northeasterly portion of the property,
- Relocation of the existing RV Dump Station, located in the northwest portion of the property,
- Relocation of (8) Hiker/Biker camp sites, and the addition of (8) more sites, located in the northwest portion of the property,
- Future Camp Loop, including 5 group sites, 50 RV/tent sites, and 10 cabins located in the northeast portion of the property near the Nehalem River/Bay (Exhibit B).

Staff find the proposed use of a Recreational Campground, group lodging cabins and recreational facilities for visitor capacity increase, is subject to the provisions of Article VI, addressed below in this report.

Group lodging facilities have been similarly used to include cabins structures for sleeping areas. Applicants' proposal contains cabins and group sites, which are to act as sleeping areas, only. They are not providing amenities such as cooking facilities within the cabins. Cabins have similarly been implemented within other State Parks in Tillamook County, including Cape Lookout State Park for diverse accommodations.

*(4) STANDARDS: Land divisions and development in the RM zone shall conform to the following standards, unless more restrictive supplemental regulations apply:*

*(a) Recreational developments shall retain substantial open space on the property.*

*(b) Master plans for improvements in the RM zone may include any of the permitted or Conditional Uses listed in this zone. The Planning Department or Commission may approve such plans for a recreation area, according to the provisions of this Section, that plan for a period not to exceed ten years. Such approvals would allow all uses provided in the plan except those that require further information or review due either to lack of plan detail or the applicability of additional Ordinance criteria or standards. Any changes to the plan which would not affect visitor capacity or increase off-site impacts may be approved by the Director. All other changes or amendments shall be reviewed as required by this Section.*

*(c) The minimum lot size shall be 40 acres. The Director may approve a smaller lot size according to the provisions of Article VI, provided that forest resource values are maintained in the vicinity.*

**Findings:** Applicant demonstrates substantial open space remains as part of the existing and proposed development. Nehalem Bay State Park maintains approximately 1,034-acres, with development existing and proposed sited primarily within the northerly portion of the property (Exhibit B). Staff find that a Master Plan for the park has not been completed, and due to proposed changes to visitor capacity, a Master Plan update is required through this report. The subject property exceeds the minimum 40-acres size (Exhibit A & B).

## **B. TCLUO SECTION 3.102: ESTUARY NATURAL (EN) ZONE**

The estuary boundary and zones are defined in TCLUO Section 3.100 as “*ESTUARY ZONES shall be applied to all estuarine waters, intertidal areas, submerged and submersible lands and tidal wetlands up to the line of non-aquatic vegetation or the Mean Higher High Water (MHHW) line, whichever is most landward.*”

**Findings:** A site plan was included in ‘Exhibit B’, which demonstrates the approximate location of the 50-ft estuary boundary as measured from the high tide line. The site plans indicates that the proposed and existing camp sites, utility upgrades, restrooms/showers, and boat ramp parking improvements are landward of the Mean Higher High water (MHHW) and the line of non-aquatic vegetation, along with maintaining more than 50-ft from the estuary boundary.

The proposed boat ramp repairs are to be located below the high tide line (Exhibit B). The EN zone allows outright for maintenance and repairs of existing structures or facilities are uses allowed outright in the EN zone, involving regulated activities such as fill which requires a Section 10 or Section 404 permit from the US Army Corp of Engineers.

Staff finds that the proposed development is primarily located outside the Estuary Natural (EN) zone, as it is located landward of the estuary boundary, other than the boat ramp repairs which include associated fill (Exhibit B). Staff find the Applicant will be required to demonstrate compliance with such standards for any future development on the site subject to the EN boundary at time of consolidated zoning/building permit approval and Estuary Development Permit. Staff recommends that this requirement be met through compliance with Conditions of Approval, to include confirmation from Oregon Department of Fish and Wildlife for identifying the estuary/riparian boundary.

#### **C. TCLUO SECTION 3.510 FLOOD HAZARD (FH) OVERLAY**

The subject property is primarily outside the mapped Special Flood Hazard Area (SFHA), with areas along the easterly boundary maintaining a “AE” zone as detailed on the FEMA FIRM 41057C0208F and 41057C0216F dated September 28, 2018 (Exhibit A). The subject property is not located within a mapped Floodway.

*(8) RECREATIONAL VEHICLES: Recreational vehicles may occupy a site in a Special Flood Hazard Area for periods of 180 consecutive days or less provided they are fully licensed and highway ready. Recreational vehicles are on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices and has no permanently attached additions. Recreational vehicles that do not meet these criteria become manufactured dwellings and shall be anchored and elevated pursuant to this ordinance.*

**Findings:** The proposed development of the Overflow Boat Ramp parking area, southerly portions of the proposed Future Cabin Loop, and the boat ramp repairs are within the mapped ‘AE’ zone (Exhibit A & B). The proposed Cabin Loop sites would include RV sites within proximity of the ‘AE’ zone on the most southerly boundary (Exhibit B). The standards for Recreational Vehicles as described in TCLUO Section 3.510(8) address occupation of an RV within the SFHA. The proposed overflow parking area for the boat ramp is approximately 255-ft by 120-ft, with (32) boat stalls proposed (Exhibit B). The boat launch is within the water and is subject to the ‘AE’ flood zone requirements. Staff recommends a condition of approval be maintained for future siting of recreational vehicles on the subject site. All future improvements to the subject property, to include fill, grading, or any development shall be subject to a Floodplain Development permit prior to the commencement of such development within those mapped within the Special Flood Hazard Area. Staff recommend a condition of approval for compliance with the Flood Hazard (FH) Overlay.

#### **D. TCLUO SECTION 3.530: BEACH AND DUNE HAZARD OVERLAY (BD)**

The tract contains numerous dune areas, including Active Fore dune, Stabilized Fore dune, Younger Stabilized Dune, Interdune, Older Stabilized Dune, and Beach as identified in DOGAMI Open File Report O-20-04 (Exhibit A).

Proposed development includes new restrooms/showers, utility upgrades within Younger Stabilized Dune area, new camp loop and parking area within the Interdune, new cabin sites within the Dune Complex (Exhibit B).

**Findings:** Staff find that maintenance and reconstruction of private roads, parking lots, driveways, utility lines, and installation of individual service connections are exempt from a Dune Area Development Permit, per TCLUO Section 3.530(5)(b). Activities, such as grading activities, new structures, new beach access, new utility lines and roadways, and a new parking lot will require a Dune Area Development Permit prior to these improvements.

Staff find that an existing approved Dune Area Development Permit was issued for the development of previously approved workforce housing for host sites, in permit #851-23-000080-PLNG.



Staff find, as a condition of approval, requirements for compliance with TCLUO Section 3.530 be required for activities prior to the start of development/construction for those items not exempt from a Dune Area Development Permit.

**E. TCLUO SECTION 3.545: SHORELAND OVERLAY**

(2) *AREAS INCLUDED: The SHORELAND OVERLAY ZONE is designated on the Tillamook County Zoning Maps. Included in this zone are:*

(a) *Lands contiguous with the ocean estuaries and coastal lakes that contain the following features shown in the Coastal Shoreland Element of the Comprehensive Plan:*

(1) *Areas subject to ocean flooding and lands within 100 feet of the ocean shore or within 50 feet of an estuary or a coastal lake.*

...

(4) *Significant shoreland and wetland biological habitats.*

(5) *Areas necessary for water-dependent and water-related uses.*

(6) *Shoreland areas of exceptional aesthetic or scenic quality.*

**Findings:** The subject site contains significant shoreland and wetland biological habitat as identified in the Tillamook County Comprehensive Plan for Nehalem Spit State Park, in 3.2a, with areas needed for water-dependent and water-related uses (boat launch), and exception aesthetic resources in the southern end of the Nehalem Spit, including snowy plover habitat (Exhibit A). The site lies within the Estuarine Element and Coastal Shorelands Element of the Tillamook County Comprehensive Plan.

(4) *USES PERMITTED: Uses authorized by the underlying zone as outright or conditional uses are permitted, except at locations identified in (3) above.*

...

(b) *Significant Shoreland and Wetland Biological Habitats (Identified in Section 3.2 of the Coastal Shorelands Element of the Comprehensive Plan).*

(1) *Only low intensity uses and developments such as hiking trails and platforms for wildlife viewing or similar types of educational, scientific or recreational uses may be permitted providing that such uses and developments will not act as a barrier to or result in major disturbances or displacement of fish or wildlife species. Maintenance of existing drainageways and drainage structures is permitted.*

**Findings:** The Nehalem Bay State Park is an existing State Park operating prior to the implementation of the local land use code (Exhibit B). The Nehalem Bay State Park is recognized in Goal 17, Section 6.2b for compatibility of uses permitted in these areas containing significant shoreland resources. Section 6.2b identifies those areas with exceptional aesthetic resources within Nehalem Spit and snowy plover use areas to be within the Management land use class, which allows for moderate impacts on resources, primitive campground, boat ramps and docks, secondary roads and parking lots, equestrian facilities, and utilities within its development area.

Nehalem Bay State Park is a State Park area already improved with development and recreational uses. Proposed development for the park is contained within the existing State Park area recognized in the Comprehensive Plan Goal 17 element, while the proposed relocation of facilities, new camp sites and lodging options are located outside those areas recognized as aesthetic resources, which are contained in the southern portion of the spit.

The boat ramp repairs and improvements to the parking area associated with the boat ramp are used for recreational uses, within those areas identified as water-dependent and water-related uses.

(2) *In significant wetland biological habitats, no development is allowed except for the placement of a floating or pile supported dock or a boat ramp using less than 50 cubic yards*

*of fill to allow boat access to a coastal lake providing that such developments are placed to minimize impacts on wetland habitats. Where dwellings are permitted in the underlying zone, the density of allowed development shall be determined by the size of the entire parcel providing the allowed development will not result in a major impact to adjacent significant wetland habitat.*

**Findings:** Boat dock is an existing structure. Proposed development for fill for repair of the boat dock is proposed to be less than 50-cubic yards of fill. Staff find the dock will be subject to regulatory requirements of Tillamook County, the Oregon Department of State Lands (DSL), and the US Army Corp of Engineers.

*(3) Dredging less than 50 cubic yards from a coastal lake to provide access to a public boat ramp or a public boat dock is allowed, subject to the approval of Tillamook County.*

**Findings:** No dredging is proposed as part of this Master Plan.

...  
*(6) STANDARDS: Uses within the SHORELAND OVERLAY ZONE are subject to the provisions and standards of the underlying zone and of this section. Where the standards of the SHORELANDS OVERLAY ZONE and the underlying zone conflict, the more restrictive provisions shall apply.*

*(a) Riparian vegetation shall be protected and retained according to the provisions outlined in Section 4.140, REQUIREMENTS FOR PROTECTION OF WATER QUALITY AND STREAMBANK STABILIZATION.*

*(b) Development in flood hazard areas shall meet the requirements of Section 3.510, FLOOD HAZARD OVERLAY ZONE.*

*(c) Development in beach and dune and other geologic hazard areas shall meet the requirements of Section 3.085, BEACH AND DUNE OVERLAY ZONE and Section 4.130, DEVELOPMENT REQUIREMENTS FOR GEOLOGIC HAZARD AREAS.*

**Findings:** The proposal is being reviewed for compliance with TCLUO Section 4.140, 3.510, 3.530, and 4.130 as part of this staff report. Proposed development is located outside mapped wetlands as indicated on the Oregon Statewide Wetlands Inventory. Proposed development within riparian areas is those associated with direct access for water-dependent uses. Development within the Beach and Dune Hazard Overlay and geologic hazard areas are required to demonstrate compliance with development standards contained in each respective section, with a prior approved Dune Area Development Permit issued in 2023 (Exhibit B).

...  
*(7) ADMINISTRATIVE PROVISIONS:*

*(a) All applications for developments in the SHORELANDS OVERLAY ZONE shall be reviewed for compliance with the requirements of the underlying zone and the requirements of the SHORELANDS OVERLAY ZONE.*

*(b) All applications shall be accompanied by a plot plan identifying the location of the parcel and its boundaries, the location of existing uses on the property, the proposed location of developments and uses and the location of any waterbodies, watercourses and wetlands in the vicinity of the proposed developments. Developments involving contiguous parcels under separate ownerships may be considered in a single application, provided that all affected property owners sign the final application.*

*(c) In the following instances, public agencies shall be notified of applications for development in the SHORELANDS OVERLAY ZONE.*

*(1) Significant Wetland Biological Habitats: The Oregon Department of Fish and Wildlife, Oregon Division of State Lands, Oregon Department of Land Conservation and Development, U. S. Fish and Wildlife Service, Environmental Protection Agency and U. S. Army Corps of Engineers shall be notified.*

*(2) Other Significant Shoreland Habitats: The Oregon Department of Fish and Wildlife, Oregon Department of Land Conservation and Development, and U. S. Fish and Wildlife Services shall be notified.*



(3) *Coastal Headlands and Exceptional Aesthetic and Scenic Resources: The Oregon Parks and Recreation Division and Oregon Department of Land Conservation and Development shall be notified.*

**Findings:** Staff notified affected agencies as part of this request, when notified on June 13, 2024, including ODFW, USFW, DSL, DLCDD, EPA, US Army Corp of Engineers, and OPRD. No comments have been received from these notified agencies as of the time of publication of this staff report.

**F. TCLUO SECTION 3.555: FRESHWATER WETLANDS OVERLAY (FW)**

(1) *PURPOSE AND AREAS INCLUDED: The purpose of this zone is to protect significant areas of freshwater wetlands, marshes and swamps from filling, drainage or other alteration which would destroy or reduce their biological value. Areas included in this zone are:*

...

(b) *Notification Wetlands: wetlands shown on the Statewide Wetland Inventory (discussed in the Goal 5 Element of the Comprehensive Plan).*

(2) *USES PERMITTED:*

..

(b) *Notification Wetlands: wetlands shown on the Statewide Wetland Inventory (discussed in the Goal 5 Element of the Comprehensive Plan).*

(3) *STANDARDS: The following standard shall be met in addition to the standards of the underlying zone.*

...

(b) *Development activities, permits, and land-use decisions affecting a Notification Wetland require notification of the Division of State Lands, and are allowed only upon compliance with any requirements of that agency. The applicant shall be responsible for obtaining approval from the Division of State Lands for activities on Notification Wetlands.*

**Findings:** Wetlands features are present throughout the parcel, predominately Freshwater Emergent Forested Shrub wetlands in the southerly portion and located in the general area of the existing improved locations (Exhibit A). Proposed improvements are located outside of existing mapped wetland features (Exhibit A & B).

DSL was notified on June 13, 2024, of the proposed application. No comments were received from DSL at the time of publication of this staff report.

Staff recommend a Condition of Approval that all local, state, and federal permits are obtained and provided at time of Zoning and Building Permit submittal, to confirm the siting of the campsites, utility improvements, structures, and improvements are not in conflict with the mapped wetlands on the tract.

**G. TCLUO SECTION 4.030: OFF-STREET PARKING AND OFF-STREET LOADING REQUIREMENTS**

(1) *PURPOSE: The purpose of requirements for off-street parking and loading areas is to relieve traffic congestion; to ensure customer convenience and safety; to provide safe access to parked vehicles; and to help ensure safe and timely response of emergency vehicles.*

(2) *PARKING SPACE: A single parking space shall be at least 8 feet by 20 feet in size.*

(3) *TIMING OF COMPLIANCE: At the time any structure or use is erected or enlarged, or the use of any parcel or structure is changed, all required off-street parking spaces and loading areas provided in conjunction with an existing use shall not be reduced below the minimum requirements of this Ordinance.*

...

(6) *DRAINAGE: Areas used for standing and maneuvering of vehicles shall have a surface that is suitable for all-weather use, and shall be drained so as to avoid the flow of water across public sidewalks and streets.*

...  
(9) *LIGHTING: Artificial lighting shall not create or reflect substantial glare into any adjacent residential zone or use.*

(10) *PROXIMITY TO TRAFFIC: Parking areas for four or more vehicles shall be of sufficient size to allow the backing and maneuvering of vehicles entirely out of the flow of traffic.*

(13) *PARKING SPACE REQUIREMENTS: Requirements for types of building and uses not specifically listed herein shall be determined by the Department, based upon the requirements for comparable uses either listed below or active elsewhere in the county.*

...  
(b) *BOARDING, LODGING, OR ROOMING HOUSE: One space for each guest accommodation.*

**Findings:** Staff find the applicant is proposing to repair an existing parking area serving the boat launch, as well as the development of an overflow parking area for the boat ramp. Applicant details a 255-ft by 120-ft parking area for the overflow parking area, containing approximately 32-stalls sized to accommodate vehicles and boats. The improvements to the existing boat launch parking lot include striping and paving of the surface and improving the existing drainage (Exhibit B).

Staff find the proposed parking lots meet the standards for off-street parking and will be required to demonstrate compliance with lighting, drainage and surfacing requirements at time of development.

Staff find the proposed 93-sites, including 24 cabins, 5 group sites, 50 RV/tent sites, 8 additional hiker/biker tent sites, and six (6) host sites must all provide accommodation for one (1) 8-ft by 20-ft parking space per site (Exhibit B). The proposed (14) Cabin Loop sites maintain adequate area and propose to provide sufficient parking to each site, along with the future camp loop detailing adequate area and accommodations for parking for each site (Exhibit B). The proposed hiker/biker tent sites do not offer a parking space, but instead a bike rack (Exhibit B).

Staff recommend a condition requiring confirmation of parking availability for each additional camp site, as the time of the Consolidated Zoning/Building Permit review process for the establishment of the site(s).

## **H. TCLUO SECTION 4.130: DEVELOPMENT REQUIREMENTS FOR GEOLOGIC HAZARD AREAS**

(2) *The following areas are considered potentially geologically hazardous and are therefore subject to the requirements of Section 4.130:*

(a) *All lands partially or completely within categories of “high” and “moderate” susceptibility to shallow landslides as mapped in Oregon Department of Geology and Mineral Industries (DOGAMI) Open File Report O-20-13, Landslide hazard and risk study of Tillamook County, Oregon;*

**Findings:** The subject properties contain areas with susceptibility to shallow landslides as identified by DOGAMI Open File report O-20-13 (Exhibit A). Staff find that maintenance and reconstruction of private roads, parking lots, driveways, utility lines, and installation of individual service connections are exempt from a Geologic Hazard Assessment, per TCLUO Section 4.130(3)(b). Activities, such as grading activities, new structures, new beach access, new utility lines and roadways, and a new parking lot will require a Geologic Hazard Assessment prior to these improvements, for areas with a preexisting slope greater than 29%.

Staff finds that the subject property is partially located within a Geologic Hazard Area and that development within that area is subject to the standards of TCLUO 4.130(2). Staff recommends a condition of approval that future development of the site within geologic hazard areas demonstrate compliance with TCLUO 4.130. Staff recommends that these standards be met through compliance with Conditions of Approval.



## **I. SECTION 4.140: REQUIREMENTS FOR PROTECTION OF WATER QUALITY AND STREAMBANK STABILIZATION**

*(1) The following areas of riparian vegetation are defined:*

*(a) Fifty (50) feet from lakes and reservoirs of one acre or more, estuaries, and the main stems of the following rivers where the river channel is more than 15 feet in width; Nestucca, Little Nestucca, Three Rivers, Tillamook, Trask, Wilson, Kilchis, Miami, Nehalem and North and South Fork Nehalem River.*

*For estuaries, all measurements are horizontal and perpendicular from the mean high water line or the line of non-aquatic vegetation, whichever is most landward. Setbacks for rivers, streams, and coastal lakes shall be measured horizontal and perpendicular from the ordinary high water line.*

*(2) All development shall be located outside of areas listed in (1) above, unless:*

*...  
(b) Direct water access is required in conjunction with a water dependent use; or*

**Findings:** The subject properties abut the Nehalem River/Bay and estuary boundary along the easterly boundary (Exhibits A & B). Staff find the subject property is required to comply with the 50-ft setback from the Nehalem River/Bay and the estuary boundary.

Oregon Department of Fish and Wildlife were notified of this request and did not provide comment at the time of this report.

Maps were included in the Applicants proposal, which would indicate the boat ramp repairs were located within the 50-ft riparian setback. A proposed overflow parking area for the boat launch would meet the 50-ft riparian setback from the Nehalem River (Exhibit B). Applicants site plan indicates that both the existing camp sites and all proposed camp sites, along with facility improvements, are located outside the 50-ft setback (Exhibit B).

Staff find the proposed overflow parking area, the existing parking area for the boat launch, and the boat ramp repairs are for direct water access and required in conjunction with the water dependent use of the boat launch.

Staff finds that the riparian setbacks of TCLUO Section 4.140: Requirements for Protection of Water Quality and Streambank Stabilization shall be followed for any development. Staff recommends that this requirement be met through compliance with Conditions of Approval, to include confirmation from Oregon Department of Fish and Wildlife for identifying the estuary/riparian boundary.

## **J. TCLUO SECTION 4.160: PROTECTION OF ARCHEOLOGICAL SITES**

*(1) The Planning Department shall review building permits and other land use actions that may affect known ARCHAEOLOGICAL SITES. If it is determined that the proposed action may affect the integrity of an ARCHAEOLOGICAL SITE, the Planning Director shall consult with the State Historic Preservation Office on appropriate measures to preserve or protect the site and its contents. No permit shall be issued until either the State Historic Preservation Office determines that the proposed activity will not adversely affect the ARCHAEOLOGICAL SITE, or the State Historic Preservation Office has developed a program for the preservation or excavation of the site.*

*(2) Indian cairns, graves and other significant archaeological resources uncovered during construction or excavation shall be preserved intact until a plan for their excavation or reinterment has been developed by the State.*

**Findings:** The State Historic Preservation Office was noticed as part of this application and have not provided comments at time of publication of the Staff Report. Staff recommends that as a Condition of Approval, Applicant be required to obtain all applicable federal, state, and local permits and adhere to applicable regulations including those required by the State Historic Preservation Office.

**K. TCLUO SECTION 5.030: RECREATIONAL CAMPGROUND STANDARDS**

(1) *PURPOSE: The purpose of the RECREATIONAL CAMPGROUND STANDARDS is to insure that each new or enlarged RECREATIONAL CAMPGROUND provides necessary facilities, adequate lot area, set-back, and other needed requirements for the public safety, health, and general welfare.*

*A RECREATIONAL CAMPGROUND is a place where four or more recreational vehicles and/or tents are located on one or more continuous lots, tracts, or parcels of land under a single ownership for temporary recreational camping. A permanent house, mobile home, manufactured home, or recreational vehicle for the owner, operator, or manager of the campground is allowed, however other Sections of the Ordinance pertaining to such use shall apply, including Section 5.010, etc. Accessory uses that may be permitted include recreational cabins, showers, laundry, a grocery, a gas pump, and recreation facilities that are designated for the primary purpose of serving the occupants of the campground. A camper as defined in Article I, shall not be allowed to stay any longer than six (6) months in any twelve (12) month period.*

*The standards contained in this Section are minimum standards. Additional standards may be required where necessary to meet other requirements of this Ordinance, i.e. Floodplain, Geologic Hazard zone, Riparian Vegetation.*

(2) *A RECREATIONAL CAMPGROUND shall be built to State standards and shall comply with the following provisions:*

*a. A RECREATIONAL CAMPGROUND shall have:*

- i. A minimum size of 1 acre or the minimum lot size of the zone, whichever is greater;*
- ii. A minimum number of 4 sites;*

**Findings:** Applicant states the area of RM zoned and is approximately 1,034.87-acres (Exhibit A & B). The existing state park pre-dates the establishment of the local land use code. The existing campground provides (314) sites and proposes to add an additional (64) recreational campground sites as part of this Master Plan review. The proposal also maintains an additional (29) cabins/group lodging cabins.

Group lodging facilities have been similarly used to include cabins structures for sleeping areas. Applicants' proposal contains cabins and group sites, which are to act as sleeping areas, only. They are not providing amenities such as cooking facilities within the cabins. Cabins have similarly been implemented within other State Parks in Tillamook County, including Cape Lookout State Park for diverse accommodations.

Staff find these standards are met.

- iii. A minimum width of space 23 feet or state minimum which ever is greater, for each site;*
- iv. Lot depths may vary in size, however maximum unit lengths shall be designated for each proposed space, and each space shall include enough area for the required set-backs along with the maximum unit length;*

**Findings:** Applicant site plan details proposed new campsite spaces, with space widths exceed 23-feet, with varying depths throughout the park (Exhibit B). Staff find these standards can be met through compliance with conditions of approval.

- v. A minimum distance between actual unit location and interior road right-of-way of 10 feet. Each campsite will have direct access to interior road right-of-way;*
- vi. And all property lines not abutting an exterior roadway shall be 10 feet. A minimum distance between actual unit and an exterior roadway shall be 20 feet;*
- vii. A minimum distance between actual units of 15 feet;*
- viii. Minimum distance between actual unit and community or service buildings of 10 feet;*



**Findings:** Applicants site plan details sites will maintain at least 10-ft from all interior road rights-of-way, and over 20-ft from exterior roadways, to include Garey Street, a County Road. Units will maintain a minimum 15-ft separation, with the units and community buildings having a separation greater than 10-ft. Applicant's site plan confirms such setbacks and separation requirements are detailed (Exhibit B). Staff find these standards can be met through compliance with conditions of approval.

- ix. *Campground roads shall have a surface width of at least 16 feet with 2 foot shoulders on each side. All interior park roads shall be surfaced to minimum County road standards and well drained. No on-street parking shall be allowed;*

**Findings:** Applicants provide the proposed roadway serving the Cabin Loop to be a minimum 20-foot wide, with access being provided to all proposed sites (Exhibit B). The proposed roads through the new camp loop would maintain a minimum 20-ft width, per the Applicants site plan (Exhibit B). No on-street parking is proposed within the plans (Exhibit B).

Staff find this standard can be met through compliance with conditions of approval.

- x. *Walkways not less than three (3) feet wide may be required to be provided from trailer spaces to community and service buildings. All access roads and walkways should be well lighted;*
- xi. *All areas not used for spaces, motor vehicle parking, traffic circulation, or service or community buildings shall be completely and permanently landscaped or maintain existing natural vegetation. The landscaping shall be maintained in good condition;*
- xii. *A sight-obscuring fence and/or buffer strip of vegetation may be required on every side of a RECREATIONAL CAMPGROUND;*
- xiii. *Trash cans shall be provided in convenient locations for the use of guests of the park, and shall be located in such number, and shall be of such capacity, that there is no uncovered accumulation of trash at any time;*

**Findings:** Site plan demonstrates multiple walkways and pathways proposed throughout the state park, connecting to existing pathways, and proposing additional walkways through proposed development (Exhibit B). The applicant does not propose to install site obscuring fence around the existing or proposed sites. Staff find the heavily vegetated around its property boundaries, and surrounding existing/proposed improvement areas (Exhibit A & B). Staff find these standards can be met through compliance with conditions of approval.

- xiv. *All Recreational Vehicles staying in the park shall be assigned to a space. No space shall have more than one (1) Recreational Vehicle or tent assigned to it, except as provided in State law;*

**Findings:** Application confirms that each space will have no more than one (1) RV or tent assigned to them (Exhibit B). Staff find this standard is met through compliance with conditions of approval.

- xv. *Approval of a recreational campground shall not be construed to be an approval of the building plans for building permit review purposes. All proposed building construction must meet Uniform Building Code requirements as part of building permit review;*

**Findings:** Staff find this standard can be met through compliance with conditions of approval.

- xvi. *On-site storage areas, for park residents only, may be allowed. If allowed, the storage area shall be screened or combined landscape and screening with a 6 foot*

*high sight obscuring fence or hedge along all exterior property lines of the storage area;*

**Findings:** Applicant has not proposed on-site storage areas for the park at this time (Exhibit B).

- xvii. *Preliminary plans which contain all the information specified in OAR 333-31-059 shall be submitted to the Planning Department when requesting Conditional Use approval.*

**Findings:** Applicants submission is being reviewed with materials for this Conditional Use request. Tillamook County Environmental Health provided they do not maintain licensing for the State Parks. Staff find this standard can be met through compliance with conditions of approval.

xviii. *All RECREATIONAL CAMPGROUNDS, which legally existed prior to the date of this Ordinance, and which have submitted complete Master Plans to the department for review, shall be considered an "existing use" if:*

- 1. The RECREATIONAL CAMPGROUND is in compliance with all State regulations and County Sanitation regulations; and*
- 2. Master Plans and review fees are submitted to the department no later than December 31, 1986; and*
- 3. The department issues a letter to the RECREATIONAL CAMPGROUND owner indicating that the campground meets the above two criteria.*

*If it is determined by the department that the RECREATIONAL CAMPGROUND does meet the first two criteria, the department shall submit the letter, mentioned in (c) above, to the campground owner. At that time, only that portion of the campground identified in the Master Plan, will then be considered an "existing use".*

*Only those campgrounds who retain the confirmation letter will be considered an "existing use". In the future, if one of the "existing use" campgrounds enlarge or expand, only that new portion of the campground will be required to meet the County standards. The "existing use" RECREATIONAL CAMPGROUNDS are to be allowed to remain as they are represented within the accepted Master Plan on only that portion of the property designated. If the use is vacated for over one year the "existing use" designation shall be void, and any new use of the property shall conform to the requirements of this Ordinance.*

*The "existing use" may be sold or transferred to new owners. The new owners will maintain the same rights as the previous owners.*

**Findings:** The existing campground pre-dates the local land use codes' adoption. Staff find the existing state park is allowed to continue. The proposed expansion of an additional (64) sites, and (29) group lodging cabins, is subject to this Conditional Use review process.

- xix. *The accessory commercial uses such as gas pump, laundry, grocery store and recreational facilities shall not exceed the requirements of Rural Commercial, Section 3.020.*

**Findings:** Staff find there is an existing equestrian concessionaire facility, along with a boat launch. Proposal includes a relocation of the RV dump station, restrooms and shower buildings, and (29) group lodging cabins (Exhibit B).

Group lodging facilities have been similarly used to include cabins structures for sleeping areas. Applicants' proposal contains cabins and group sites, which are to act as sleeping areas, only. They are not providing

amenities such as cooking facilities within the cabins. Cabins have similarly been implemented within other State Parks in Tillamook County, including Cape Lookout State Park for diverse accommodations.

- xx. *New full hook-up parks requiring a community septic/sewer system are permitted only within adopted unincorporated community boundaries.*

**Findings:** The Applicant includes a proposal to upgrade water/sewer and electrical to (164) sites located within Loops D, E, F and the equestrian camp loop, remove and replace an RV dump station, and provide service hookups to the proposed (64) sites and (29) group lodging cabins (Exhibit B). No comments were received from the Department of Environmental Quality at the time of publishing this report.

#### **IV. ANALYSIS OF CRITERIA:**

##### **A. TCLUO SECTOIN 6.040: CONDITIONAL USE REVIEW CRITERIA**

*Any CONDITIONAL USE authorized according to this Article shall be subject to the following criteria, where applicable:*

- (1) *The use is listed as a CONDITIONAL USE in the underlying zone, or in an applicable overlying zone.*

**Findings:** The proposed use of the campground site expansions is listed as a conditional use in the underlying zone (TCLUO 3.040(3)(a & b)). Staff finds that this criterion has been met.

- (2) *The use is consistent with the applicable goals and policies of the Comprehensive Plan.*

**Findings:** The Tillamook County Land Use Ordinance is an implementing document of the Comprehensive Plan. In the absence of evidence to the contrary, uses allowed conditionally in the Land Use Ordinance are presumed to be consistent with the Comprehensive Plan.

Applicant described Goal 8 ‘Recreation’ element that discusses goals for the County to promote and enhance recreational activities (Exhibit B). Applicant also discloses Goal 5 ‘Natural Resources’ as they intend to expand the existing campground in a way which maintains separation from natural resources, wetlands and adjacent estuaries (Exhibit B). Applicant provides Goal 16 ‘Estuarine Resources’ for improvements to the boat ramp site support continued public access to, which is promoted in this goal element. Goal 18 ‘Beaches and Dunes’ is supported and discussed in this report above, for compliance with TCLUO Section 3.530.

Goal 17 ‘Coastal Shorelands’ element details consistency with development to conserve, protect and develop where appropriate. The Nehalem Bay State Park is an existing State Park operating prior to the implementation of the local land use code (Exhibit B). The Nehalem Bay State Park is recognized in Goal 17, Section 6.2b for compatibility of uses permitted in these areas containing significant shoreland resources. Section 6.2b identifies those areas with exceptional aesthetic resources within Nehalem Spit and snowy plover use areas to be within the Management land use class, which allows for moderate impacts on resources, primitive campground, boat ramps and docks, secondary roads and parking lots, equestrian facilities, and utilities within its development area.

Nehalem Bay State Park is a State Park area already improved with development and recreational uses. Proposed development for the park is contained within the existing State Park area recognized in the Comprehensive Plan Goal 17 element, while the proposed relocation of facilities, new camp sites and lodging options are located outside those areas recognized as aesthetic resources, which are contained in the southern portion of the spit.



Staff finds that the Applicant is proposing to expand an existing campground as it is defined in Ordinance and in Statute and that campgrounds are a use allowed in RM zone subject to a finding that they also meet the criteria set forth in Article 6, which are discussed in this report.

*(3) The parcel is suitable for the proposed use considering its size, shape, location, topography, existence of improvements and natural features.*

### **Findings:**

- The property is currently improved with an existing recreational campground with recreational vehicle (RV) sites, tent and yurt sites, hiker/biker campsites, and an equestrian camp, along with existing staff cabins and facilities, a meeting hall, a small airport, and a boat launch (Exhibit A & B).
- The state park currently maintains 314 sites (Exhibit B).
- The expected number of new sites is approximately 93-sites, including 24 cabins, 5 group sites, 50 RV/tent sites, 8 additional hiker/biker tent sites, and six (6) host sites (Exhibit B).
- The subject property is irregularly shaped and encompasses 1,034-acres (Exhibits A and B).
- The proposed improvements would take place on approximately 23-acres of the property, adjacent to or within existing developed areas (Exhibit B).
- The shape of the property is approximately 1-mile long to 0.3 to 0.5-miles wide. The proposed improvements are focused within the northern region of the property, near existing improvements, roadways and development.
- The park is located south of the City of Manzanita, and sites between Nehalem River/Bay and the Pacific Ocean (Exhibit A & B).
- The topography of the subject property maintains variable terrain, with a foredune feature along the westerly portion of the property, and generally level terrain throughout the middle of the property. Proposed development is to be sited within the level portions of the property.
- The property maintains existing improvements servicing the 300+ sites. Applicant states proposed improvements are consistent with character of existing development (Exhibit B).
- Applicant states proposed improvements are designed to minimize impacts to natural features, minimizing development in wetlands, and removing vegetation on as necessary for development (Exhibit B).
- The subject property has variable slopes and terrain throughout the property, with foredunes present along the westerly portions and low-lying throughout the property, and steep slopes and terrain located upon the northeasterly portion (Exhibit A). The existing improved campground is primarily located within the level areas near the middle of the subject property (Exhibit A & B). Proposed improvements are located within level areas (Exhibit A & B).
- The tract within areas described as areas of shallow landslide susceptibility as described in DOGAMI Open File Report O-20-13 as (Exhibit A). The tract also contained numerous dune areas, including Active Fore dune, Stabilized Fore dune, Younger Stabilized Dune, Interdune, Older Stabilized Dune, and Beach as identified in DOGAMI Open File Report O-20-04 (Exhibit A). The proposed improvements are contained within Younger Stabilized Dunes and Interdune areas (Exhibit A & B).
- Wetlands features are present throughout the parcel, predominately Freshwater Emergent Forested Shrub wetlands in the southerly portion and located in the general area of the existing improved locations (Exhibit A). Proposed improvements are located outside of existing mapped wetland features (Exhibit A & B). The property abuts the Nehalem River/Bay along its easterly boundary (Exhibit A).
- The subject property is primarily outside the mapped Special Flood Hazard Area (SFHA), with areas along the easterly boundary maintaining a "AE" zone as detailed on the FEMA FIRM 41057C0208F and 41057C0216F dated September 28, 2018 (Exhibit A).
- The subject property is currently served off Garey Street, a County road, which comes off Necarney City Road, a County road, to the subject property. The Tillamook County Public Works Department provided comments stating they did not have requirements at this time (Exhibit C). Tillamook

County Public Works Engineer Brian Olle provided additional that OPRD's 2009 Master Plan stated the access road was used beyond capacity and in need of improvements (Exhibit C). Tillamook County Public Works Department requests that the Applicant provide clarification to these statements, as the application materials would include the Applicant stating that proposed development will not exceed existing infrastructure capacity (Exhibit B & C).

- (4) *The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs or prevents the use of surrounding properties for the permitted uses listed in the underlying zone.*

**Findings:** Applicant states there will be minimal expected traffic impacts from the proposed development, no increase in noise, lights, or other emissions that would affect surrounding properties (Exhibit B).

The subject property is zoned Recreation Management (RM) (Exhibit A). The property abuts the Pacific Ocean upon its westerly boundary, and the Nehalem River/Bay primarily upon its easterly boundary (Exhibit A & B). The property neighbors residentially zoned properties located primarily to the north which are contained within the City of Manzanita's city and UGB boundaries, zoned Manzanita's Medium Density Residential (R2), Residential Manufactured Dwelling (RMD) and Special Residential/Recreational (SRR) zones (Exhibit A). These residential properties are predominately improved with residential development (Exhibit A). Adjacent Rural Commercial (RC) zoned properties are located to the east and west. The subject property abuts the Nehalem River/Bay to the east, where Estuary Natural (EN) zone is present.

Nehalem River/Bay serves as separation between the subject property and adjacent properties to the south and east (Exhibit A).

Public comments were received detailing concerns relating to:

- Current roadway infrastructure's ability to support the existing park and proposed expansion
- Traffic impacts with expansion design
- Impacts to neighboring properties due to increased visitors and sites
- Impacts to cultural resources and sensitivity to the area due to known cultural resources/artifacts in the area.

The subject property is currently served off Garey Street, a County road, which comes off Necarney City Road, a County road, to the subject property. The Tillamook County Public Works Department provided comments stating they did not have requirements at this time (Exhibit C). Tillamook County Public Works Engineer Brian Olle provided additional that OPRD's 2009 Master Plan stated the access road was used beyond capacity and in need of improvements (Exhibit C). Tillamook County Public Works Department requests that the Applicant provide clarification to these statements, as the application materials would include the Applicant stating that proposed development will not exceed existing infrastructure capacity (Exhibit B & C).

Oregon Department of Transportation (ODOT) included comments within the Applicants submittal stating the proposed development will not trigger a Change of Use and will not require a traffic study (Exhibit B).

Oregon Department of Environmental Quality (DEQ) or the County Sanitarian are the entities charged with the regulation of sewage, liquid waste and solid waste for recreational parks including overnight campgrounds. These agencies were noticed of the application. The Applicant provided documentation regarding a proposal for new restroom and shower locations, along with relocation of an RV dump station (Exhibit B). Staff recommends that as a Condition of Approval, the Applicant be required to demonstrate that they have obtained permit approvals from DEQ for sewage and liquid waste disposal systems appropriate to the proposed development at the time of applying for Zoning and Building permits. Solid waste disposal is also subject to DEQ regulation. Both solid, sewage and liquid waste are addressed in

OAR 333-31, Oregon Health Authority, Public Health Division rules addressing the construction, operation and maintenance of recreation parks, including overnight campgrounds. Staff recommends that as a Condition of Approval, Applicant obtain all required federal, state and local permits and licenses and adhere to all applicable rules and regulations.

ODFW, EPA, US Army Corp of Engineers and USFWS were notified of this application. No comments were received from such entities.

*(5) The proposed use will not have detrimental effect on existing solar energy systems, wind energy conversion systems or wind mills.*

**Findings:** Applicant states there is no existing such facilities in the area (Exhibit B). Staff find no record of such facilities and improvements on the subject properties or within the vicinity (Exhibit A). Staff finds that this criterion has been met.

*(6) The proposed use is timely, considering the adequacy of public facilities and services existing or planned for the area affected by the use.*

**Findings:** Applicant states the campground is current served for water by City of Manzanita, electricity with Tillamook Peoples Utility District (TPUD), sewer with Nehalem Bay Wastewater Agency, fire protection with Nehalem Bay Fire & Rescue District, and roads with ODOT and County Public Works (Exhibit B). The park maintains (314) existing sites (Exhibit B). Applicant is proposing to provide connections to existing sites for water/sewer and electricity to (164) existing sites, and the proposal include (64) new campsites and (29) group lodging cabins (Exhibit B). Oregon Department of Transportation included comments in the Applicants submittal, detailing that no Traffic Impact Analysis (TIA) would be required for the proposed campground expansion due to no Change in Use for proposed development (Exhibit B).

The subject property is currently served off Garey Street, a County road, which comes off Nearnery City Road, a County road, to the subject property. The Tillamook County Public Works Department provided comments stating they did not have requirements at this time (Exhibit C). Tillamook County Public Works Engineer Brian Olle provided additional that OPRD's 2009 Master Plan stated the access road was used beyond capacity and in need of improvements (Exhibit C). Tillamook County Public Works Department requests that the Applicant provide clarification to these statements, as the application materials would include the Applicant stating that proposed development will not exceed existing infrastructure capacity (Exhibit B & C).

The property is located within the service area of the Nehalem Bay Fire District. Chief Knight responded to the Department that they had no formal comment on the proposal (Exhibit C). Staff recommends that as a Condition of Approval, a letter from the Nehalem Bay Fire District confirming service to the campground development be required at the time of applying for Zoning and Building permits.

The Department reached out to Nehalem Bay Wastewater District and City of Manzanita for comments regarding sewer and water infrastructure and capacity. They did not provide comments at the time of publishing this report.

## **V. ADMINISTRATIVE PROVISIONS**

### **SECTION 6.020: PROCEDURE**

*The following procedure shall be observed in submitting and acting on a CONDITIONAL USE request: (1) A request may be initiated for a CONDITIONAL USE, or the modification of an approved CONDITIONAL USE, by filing an application with the Department. The Department may require any information necessary for a complete understanding of the proposed use and its relationship to surrounding properties.*



(2) *The Director shall act administratively according to the procedure set forth in Article 10, or shall refer the application to the Commission for a public hearing and decision. The application shall be referred to the Commission if the director determines that the proposed use would have significant impacts that extend beyond the abutting properties, and that those impacts are not likely to be adequately addressed by response to public notice required by Section 10.070. If the Director elects to refer the application to the Commission, it shall be heard at the next available Commission hearing, unless the applicant requests otherwise.*

(3) *No CONDITIONAL USE permit shall be invalidated because of failure to receive the notice provided for in Section 10.070*

## SECTION 10.080 TYPE III PROCEDURES

### (1) *Notice for Type III Decisions.*

(a) *Notice of Review. The County shall provide notice of a public hearing on a Quasi-Judicial application at least 28 days prior to the first hearing date. If two or more hearings are allowed, then notice shall be provided at least 10 days prior to first hearing. The County Planning Director shall prepare an affidavit of notice, which shall be made part of the file. This affidavit shall state the date that the notice was mailed. Notice of a public hearing shall be provided to the following parties:*

...

ii. *Property owners within 250 feet of subject property if the subject property is outside UGB and not in farm or forest zone.*

...

v. *Any affected government agency or public district, including affected city if subject site is inside a UGB.*

vi. *Any citizen's advisory committee or community organization whose boundaries include, or are adjacent to, the subject site.*

...

(c) *Newspaper notice. Notice of the public hearing shall be published in a newspaper of general circulation in the County at least ten (10) calendar days prior to the date of a quasi-judicial public hearing. An affidavit or other formal certification of publication shall be made part of the record.*

**Findings:** Notice of Public Hearing was mailed out on June 13, 2024, to all landowners within 250 feet of the subject property, and affected agencies, districts and other parties. Newspaper Notice of Public Hearing was published on June 25, 2024, in the Tillamook County Headlight Herald. Comments were received from Tillamook County Public Works, Nehalem Bay Fire District and the general public, and are included in 'Exhibit C'.

## **VI. RECOMMENDED CONDITIONS OF APPROVAL:**

1. The applicant/property owner shall obtain all required Federal, State, and Local permits and/or licenses and will comply with applicable rules and regulations.
2. The property owner shall obtain all necessary electrical, mechanical, and plumbing permits.
3. At the time of applying for Zoning and Building Permit approval for new campsites and lodging, Applicant will be required to submit the following:
  - Authorization Notice approval for new sewer connections from Oregon DEQ.
  - A letter from City of Manzanita confirming water service to the proposed facility.
  - A letter from the Nehalem Bay Fire District confirming fire protection service to the proposed facilities.
  - A letter from the Tillamook County Public Works approving the road approach.
  - A letter from Tillamook County Public Works approving all internal roadway designs.

4. Future development for sanitation systems, including relocation of the RV Dump station, and new connections to existing campsites, shall provide an authorization notice approval from Oregon DEQ, at time of apply for the Zoning and Building Permit approval.
5. Future development shall adhere to the requirement from development within areas of geologic hazard as required by TCLUO Section 4.130.
6. The applicants/property owners shall maintain an additional off-street parking spaces as required per TCLUO Section 4.030: Off-Street Parking & Off-Street Loading Requirements for the proposed expansion the campground, for one (1) parking space per camp site. Each parking space shall be a minimum of 8 feet by 20 feet. Parking areas shall comply with the standards of Section 4.030 including lighting, drainage and maneuvering. Parking spaces shall be identified on the site plan submitted with the Zoning Permit/Building Permit.
7. Future development shall adhere to the requirements of the Flood Hazard (FH) Overlay, TCLUO Section 3.510, including those standards required for development and the siting of recreational vehicles and fill in the floodplain.
8. Future development shall otherwise adhere to the requirement of the Shoreland Overlay, TCLUO Section 3.545.
9. Future development shall adhere to the requirement of the Estuary Natural (EN) Zone, TCLUO Section 3.102, including obtaining an Estuary Development Permit prior to activities requiring such as boat ramp repairs and associated fill.
10. Development will comply with the requirements and standards of TCLUO 3.040 'Recreation Management (RM) Zone' and Section 5.030 'Recreational Campground Standards'.
11. Overnight temporary use of the campground by a camper or a camper's vehicle shall not for longer than six (6) months in any twelve (12) month period as required by TCLUO Section 5.030.
12. Development shall comply with riparian buffer and vegetation retention requirements of TCLUO Section 4.140: Requirements for Protection of Water Quality and Streambank Stabilization. Applicant/property owner shall have Oregon Department of Fish and Wildlife (ODFW) confirm the location of the estuary and riparian areas.
13. Signage shall comply with the requirements of TCLUO Section 4.020: Signs.
14. Development will occur in the area as generally depicted on the submitted site plans and as described and will not exceed (64) new campsites, and (29) group lodging cabins, in addition to new restrooms/showers, utility upgrades, boat ramp parking improvements, and RV dump station.

### **VIII. EXHIBITS**

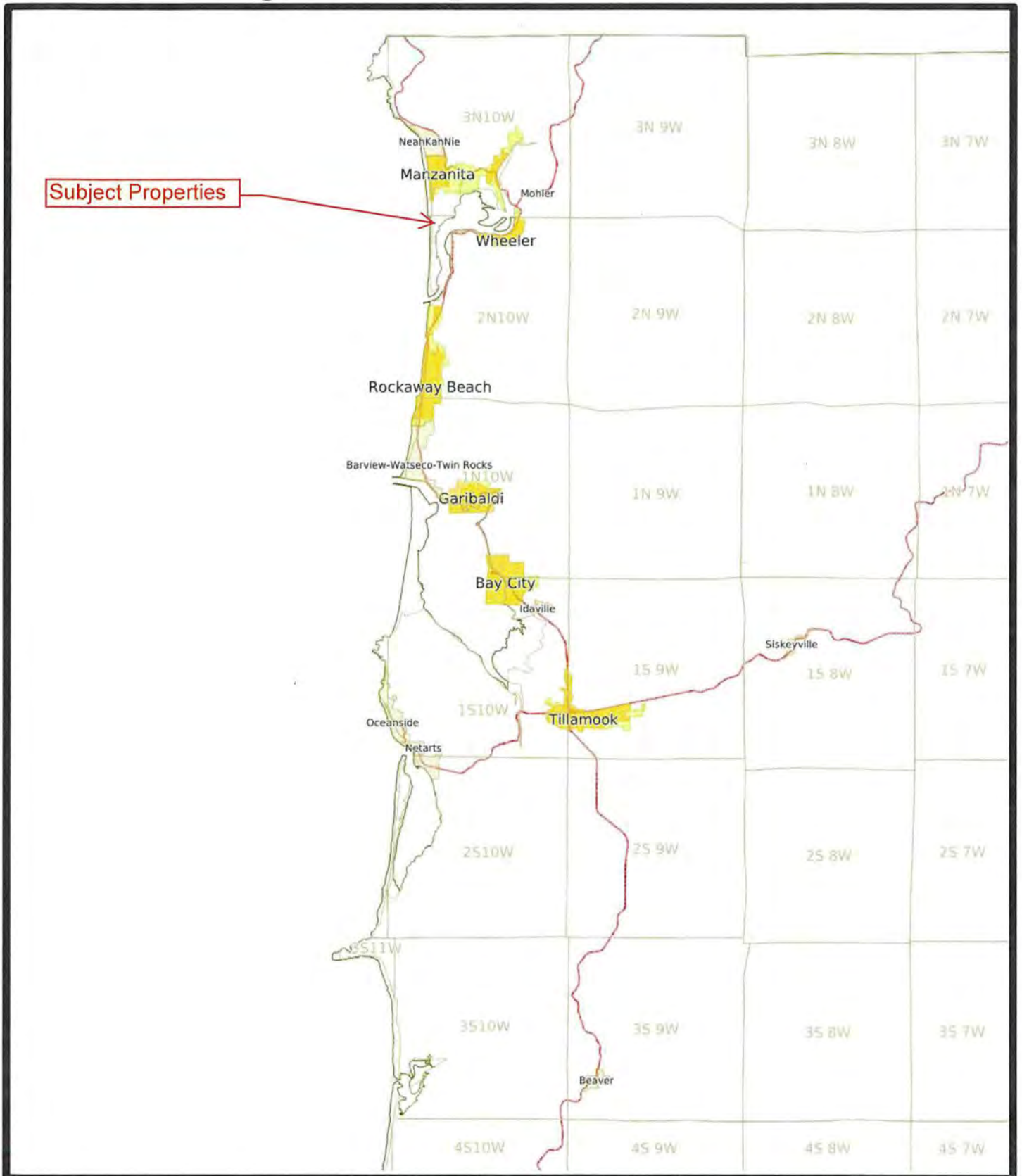
All Exhibits referred to herein are, by this reference, made a part hereof:

- A. Location map, Assessor map, Zoning map, FEMA FIRM, NWI Wetlands map
- B. Applicants/Property Owner's submittal
- C. Public comments

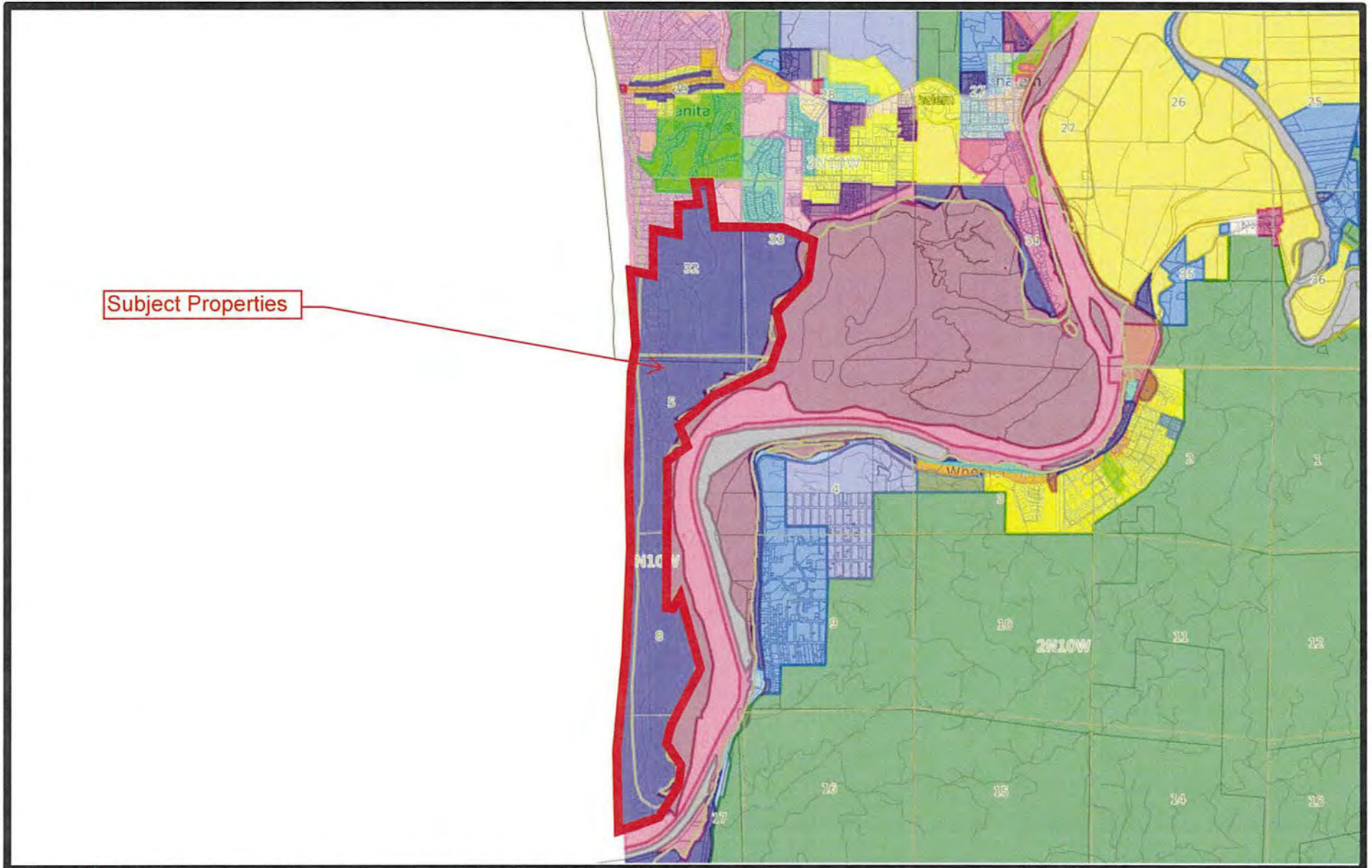
# **EXHIBIT A**



# Vicinity Map



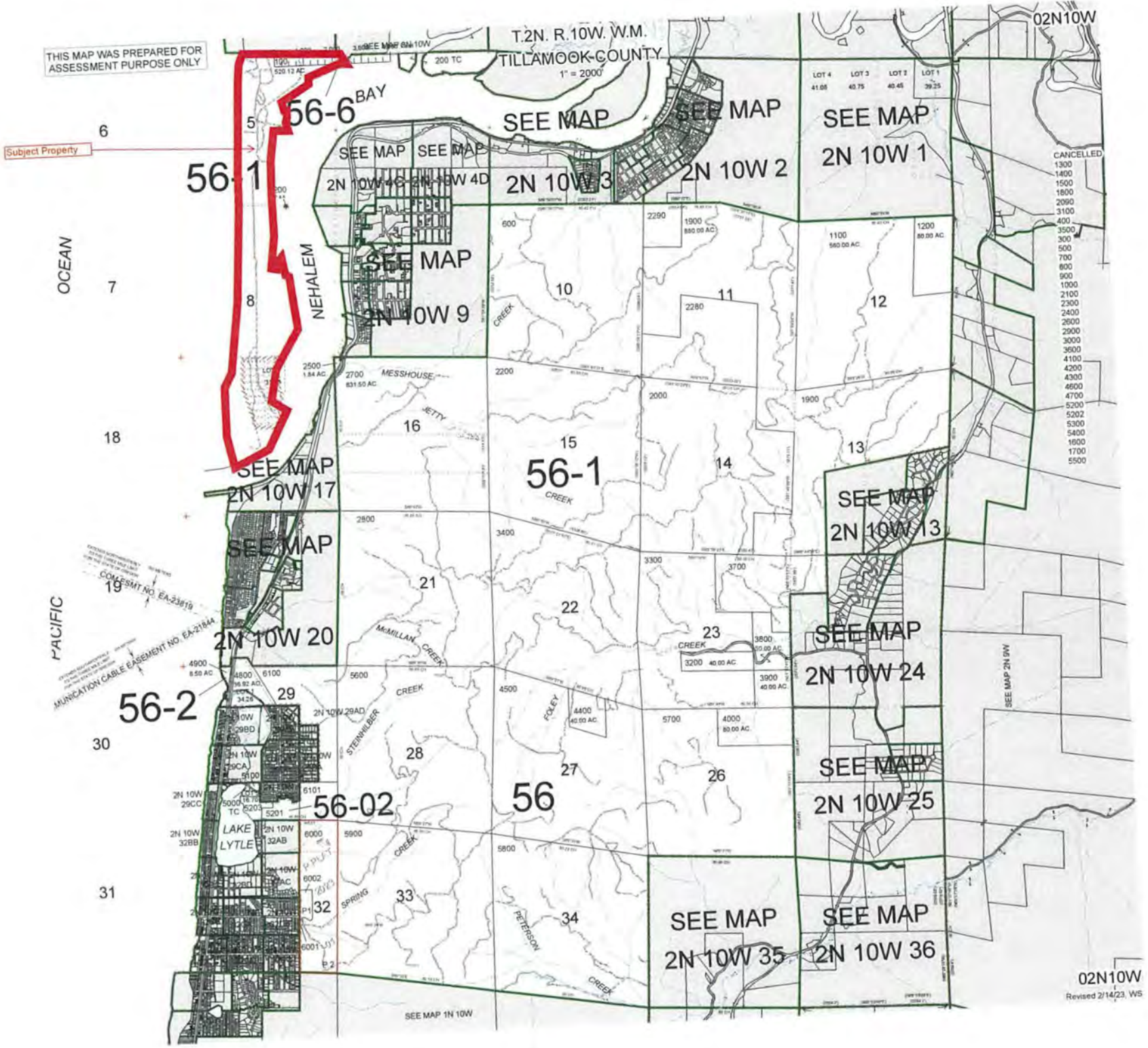
# Zoning Map





THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY

T.2N. R.10W. W.M.  
TILLAMOOK COUNTY  
1" = 2000'



02N10W

LOT 4 41.05  
LOT 3 43.75  
LOT 2 40.45  
LOT 1 39.25

CANCELLED  
1300  
1400  
1500  
1600  
1800  
2090  
3100  
400  
3500  
300  
500  
700  
800  
900  
1000  
2100  
2300  
2400  
2600  
2900  
3000  
3600  
4100  
4200  
4300  
4600  
4700  
5200  
5202  
5300  
5400  
1600  
1700  
5500

Subject Property

OCEAN

PACIFIC

6

7

18

19

30

31

56-1

56-6 BAY

NEHALEM

56-1  
CREEK

56-2

56-02

56

LAKE  
LYTLE

SEE MAP  
2N 10W 35

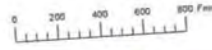
SEE MAP  
2N 10W 36

02N10W  
Revised 2/14/23, WS

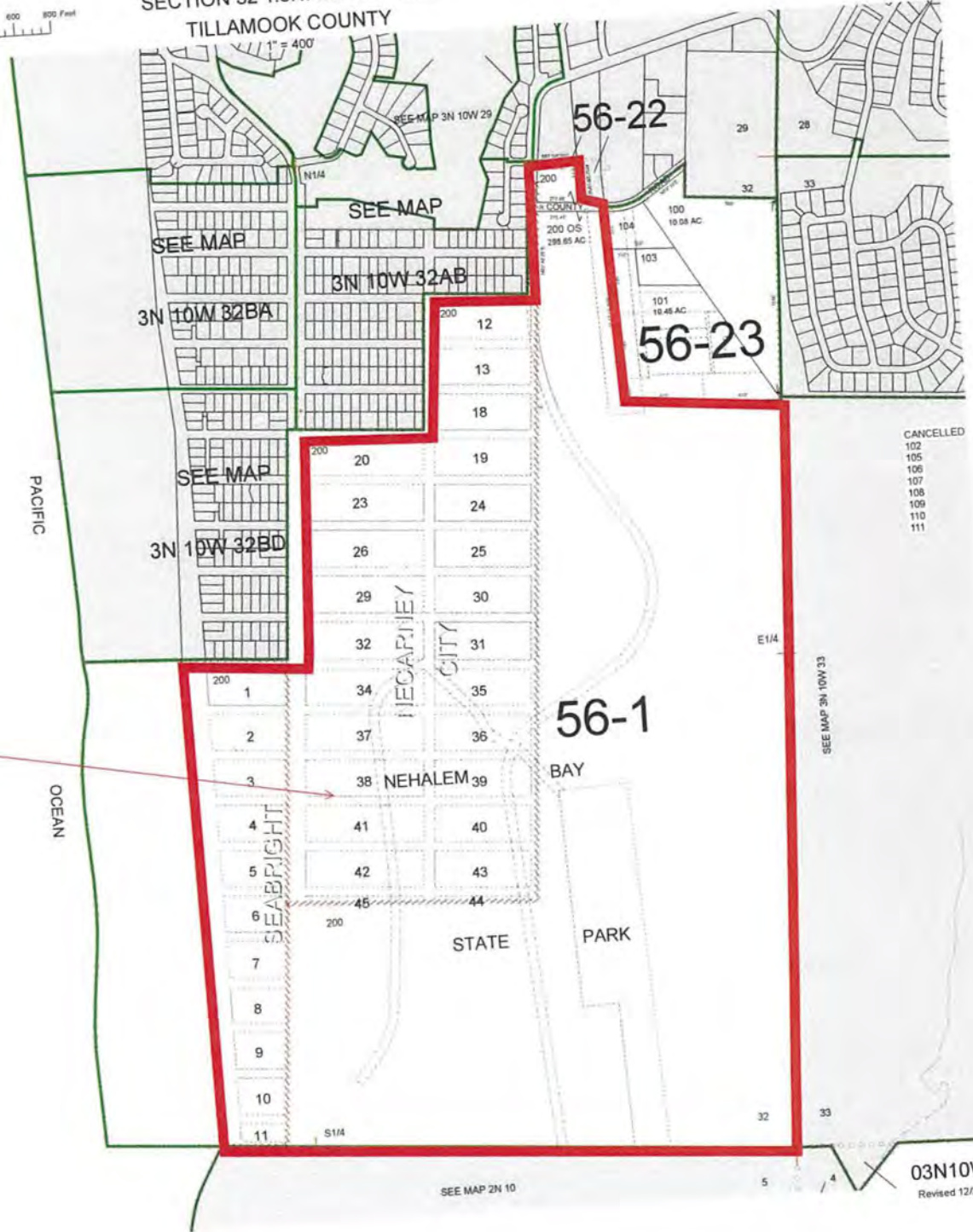


SECTION 32 T.3N. R.10W. W.M.  
TILLAMOOK COUNTY

THIS MAP WAS PREPARED FOR  
ASSESSMENT PURPOSE ONLY



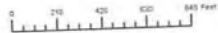
Subject Property



CANCELLED  
102  
105  
106  
107  
108  
109  
110  
111

SEE MAP 2N 10

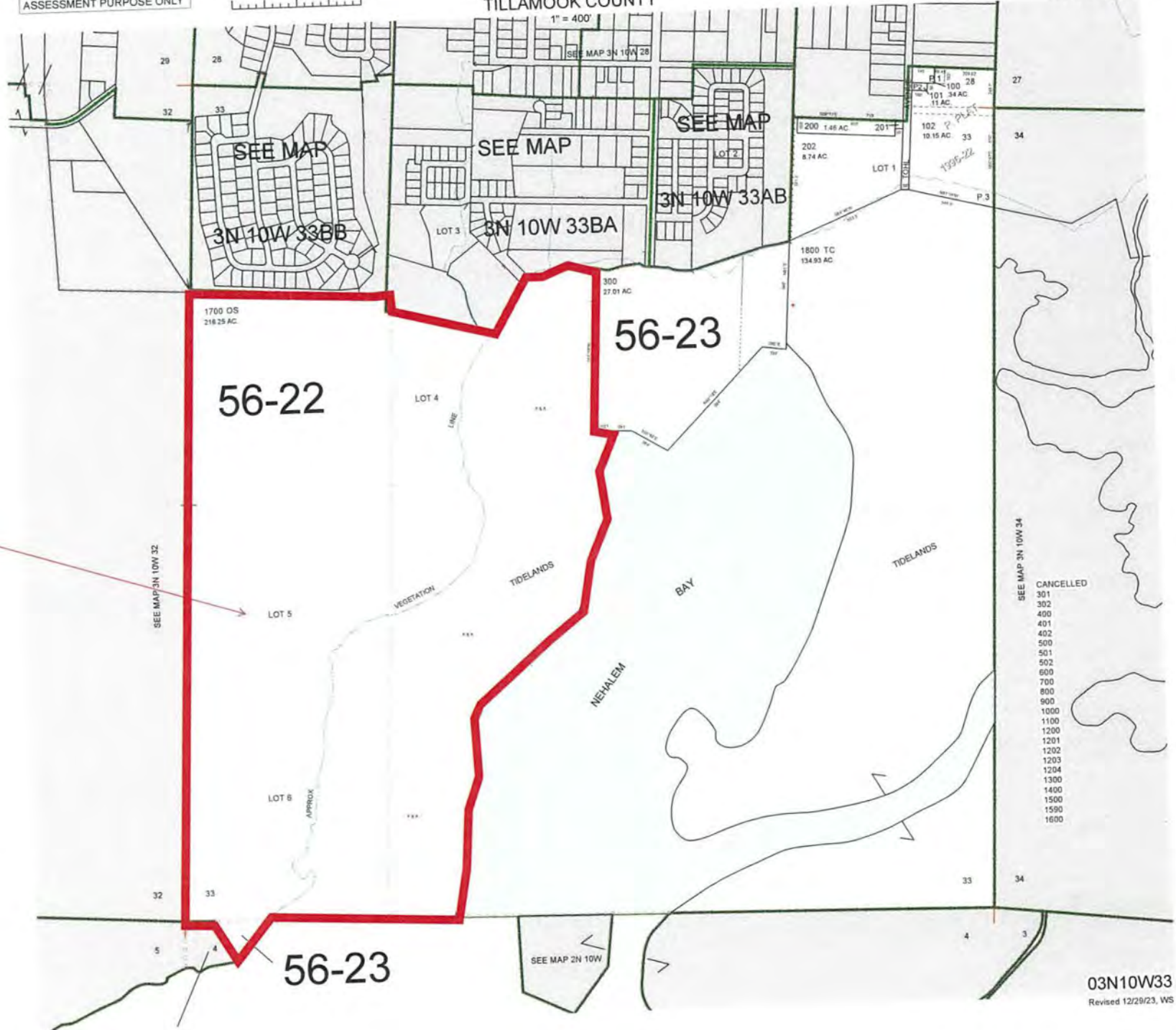
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY



SECTION 33 T.3N. R.10W. W.M.  
TILLAMOOK COUNTY

03N10W33

1" = 400'



SEE MAP  
3N 10W 33BB

SEE MAP

SEE MAP

3N 10W 33AB

3N 10W 33BA

56-22

56-23

56-23

Subject Property



- SEE MAP 3N 10W 34
- CANCELLED
- 301
- 302
- 400
- 401
- 402
- 500
- 501
- 502
- 600
- 700
- 800
- 900
- 1000
- 1100
- 1200
- 1201
- 1202
- 1203
- 1204
- 1300
- 1400
- 1500
- 1590
- 1600



**Tillamook County**  
**2023 Real Property Assessment Report**  
 Account 318285

Map 3N10320000200  
 Code - Tax ID 5601 - 318285  
 5622 - 414921

Tax Status Non-Assessable  
 Account Status Active  
 Subtype NORMAL

Legal Descr See Record

Mailing OREGON, STATE OF PARKS & RECREATION  
 NEHALEM BAY STATE PARK  
 34600 GAREY ST  
 NEHALEM OR 97131

Deed Reference # (SOURCE ID: 394-158)  
 Sales Date/Price 02-26-1998 / \$0  
 Appraiser KARI FLEISHER

Property Class 969 MA SA NH  
 RMV Class 209 07 OF 100

Site	Situs Address	City
1	34600 GAREY ST	COUNTY
2	9395 SANDPIPER LN	COUNTY

Value Summary						
Code Area		RMV	MAV	AV	RMV Exception	CPR %
5601	Land	11,626,890		Land	0	
	Impr	3,985,500		Impr	0	
<b>Code Area Total</b>		15,612,390	0	0	0	
5622	Land	50,780		Land	0	
	Impr	0		Impr	0	
<b>Code Area Total</b>		50,780	0	0	0	
<b>Grand Total</b>		15,663,170	0	0	0	

Land Breakdown									
Code Area	ID #	RFPD	Ex	Plan Zone	Value Source	Trend %	Size	Land Class	Trended RMV
5601	1	<input checked="" type="checkbox"/>		RM	Market	105	296.35 AC		11,575,430
	2	<input checked="" type="checkbox"/>		RM	Market	105	1.00 AC		39,060
					OSD - AVERAGE	100			12,400
<b>Code Area Total</b>							297.35 AC		11,626,890
5622	1	<input checked="" type="checkbox"/>		RM	Market	105	1.30 AC		50,780
<b>Code Area Total</b>							1.30 AC		50,780
<b>Grand Total</b>							298.65 AC		11,677,670

Improvement Breakdown									
Code Area	ID #	Year Built	Stat Class	Description	Trend %	Total Sqft	Ex%	MS Acct	Trended RMV
5601	2	1993	962	Class 6, Double Wide	120	1,782		R-391875	80,950
	3	1900	511	RV Park/Campground	149	10			3,904,550
<b>Code Area Total</b>						1,792			3,985,500



**Tillamook County**  
**2023 Real Property Assessment Report**  
 Account 318285

Exemptions / Special Assessments / Notations	
<b>Code Area 5601</b>	
<b>Exemptions (AV)</b>	<b>Amount</b>
■ STATE GOVERNMENT 307.090	0
<b>Code Area 5622</b>	
<b>Exemptions (AV)</b>	<b>Amount</b>
■ STATE GOVERNMENT 307.090	0

**MS Accounts**    5601 - R-391875

**Comments**      09/07/06 - Set MAV to zero - nonassessable account, KL. 8/15/07 Reappraised RMV for 2007-08. KF 1/26/2010  
 Created split code due to multiple taxing districts. KF 11/10/22 Tabled land. KF 12/29/22 Removed roadway from  
 account, reduced acreage. RMV change only. KF

**Tillamook County**  
**2023 Real Property Assessment Report**  
 Account 318347

Map	3N10330001700	Tax Status	Non-Assessable
Code - Tax ID	5622 - 318347 5623 - 414727	Account Status	Active
Legal Descr	See Record	Subtype	NORMAL
Mailing	OREGON PARKS & RECREATION DEPT (NEHALEM BAY STATE PARK) 725 SUMMER ST NE SUITE C SALEM OR 97301	Deed Reference #	(SOURCE ID: 394-158)
Property Class	960 MA SA NH	Sales Date/Price	02-26-1998 / \$0
RMV Class	200 07 AC 100	Appraiser	KARI FLEISHER

Site	Situs Address	City
------	---------------	------

Value Summary						
Code Area		RMV	MAV	AV	RMV Exception	CPR %
5622	Land	4,847,350		Land	0	
	Impr	0		Impr	0	
<b>Code Area Total</b>		4,847,350	0	0	0	
5623	Land	3,599,380		Land	0	
	Impr	0		Impr	0	
<b>Code Area Total</b>		3,599,380	0	0	0	
<b>Grand Total</b>		8,446,730	0	0	0	

Land Breakdown									
Code Area	ID #	RFPD	Ex	Plan Zone	Value Source	Trend %	Size	Land Class	Trended RMV
5622	0	<input checked="" type="checkbox"/>		RM	Market	105	124.10 AC		4,847,350
<b>Code Area Total</b>							124.10 AC		4,847,350
5623	0	<input checked="" type="checkbox"/>		RM	Market	105	92.15 AC		3,599,380
<b>Code Area Total</b>							92.15 AC		3,599,380
<b>Grand Total</b>							216.25 AC		8,446,730

Improvement Breakdown								
Code Area	Year Built	Stat Class	Description	Trend %	Total Sqft	Ex%	MS Acct	Trended RMV
No improvements listed.								

Exemptions / Special Assessments / Notations	
Code Area 5622	
Exemptions (AV)	Amount
■ STATE GOVERNMENT 307.090	0
Code Area 5623	
Exemptions (AV)	Amount
■ STATE GOVERNMENT 307.090	0

**Comments** 4/17/08 Reappraised land for 2008-09. KF 6/24/09 Acreage correction per GIS, acreage change only. Created split code due to new fire district. KF 12/8/10 Added exemption to code 56.23. KF 11/10/22 Tabled land. KF

**Tillamook County**  
**2023 Real Property Assessment Report**  
 Account 314369

<b>Map</b>	2N1000000100	<b>Tax Status</b>	Non-Assessable
<b>Code - Tax ID</b>	5601 - 314369 5606 - 414719	<b>Account Status</b>	Active
<b>Legal Descr</b>	See Record	<b>Subtype</b>	NORMAL
<b>Mailing</b>	OREGON PARKS & RECREATION DEPT (NEHALEM BAY STATE PARK) 725 SUMMER ST NE SUITE C SALEM OR 97301	<b>Deed Reference #</b>	(SOURCE ID: 394-158)
		<b>Sales Date/Price</b>	02-26-1998 / \$0
		<b>Appraiser</b>	KARI FLEISHER
<b>Property Class</b>	961 MA SA NH		
<b>RMV Class</b>	201 07 OF 100		

<b>Site</b>	<b>Situs Address</b>	<b>City</b>
-------------	----------------------	-------------

Value Summary						
Code Area		RMV	MAV	AV	RMV Exception	CPR %
5601	Land	20,255,580		Land	0	
	Impr	1,412,000		Impr	0	
<b>Code Area Total</b>		21,667,580	0	0	0	
5606	Land	70,310		Land	0	
	Impr	0		Impr	0	
<b>Code Area Total</b>		70,310	0	0	0	
<b>Grand Total</b>		21,737,890	0	0	0	

Land Breakdown									
Code Area	ID #	RFPD	Ex	Plan Zone	Value Source	Trend %	Size	Land Class	Trended RMV
5601	1	<input checked="" type="checkbox"/>		RM	Market	105	518.32 AC		20,245,580
					OSD - AVERAGE	100		10,000	
					<b>Code Area Total</b>		518.32 AC	20,255,580	
5606	1	<input checked="" type="checkbox"/>		RM	Market	105	1.80 AC		70,310
					<b>Code Area Total</b>		1.80 AC	70,310	
					<b>Grand Total</b>		520.12 AC	20,325,890	

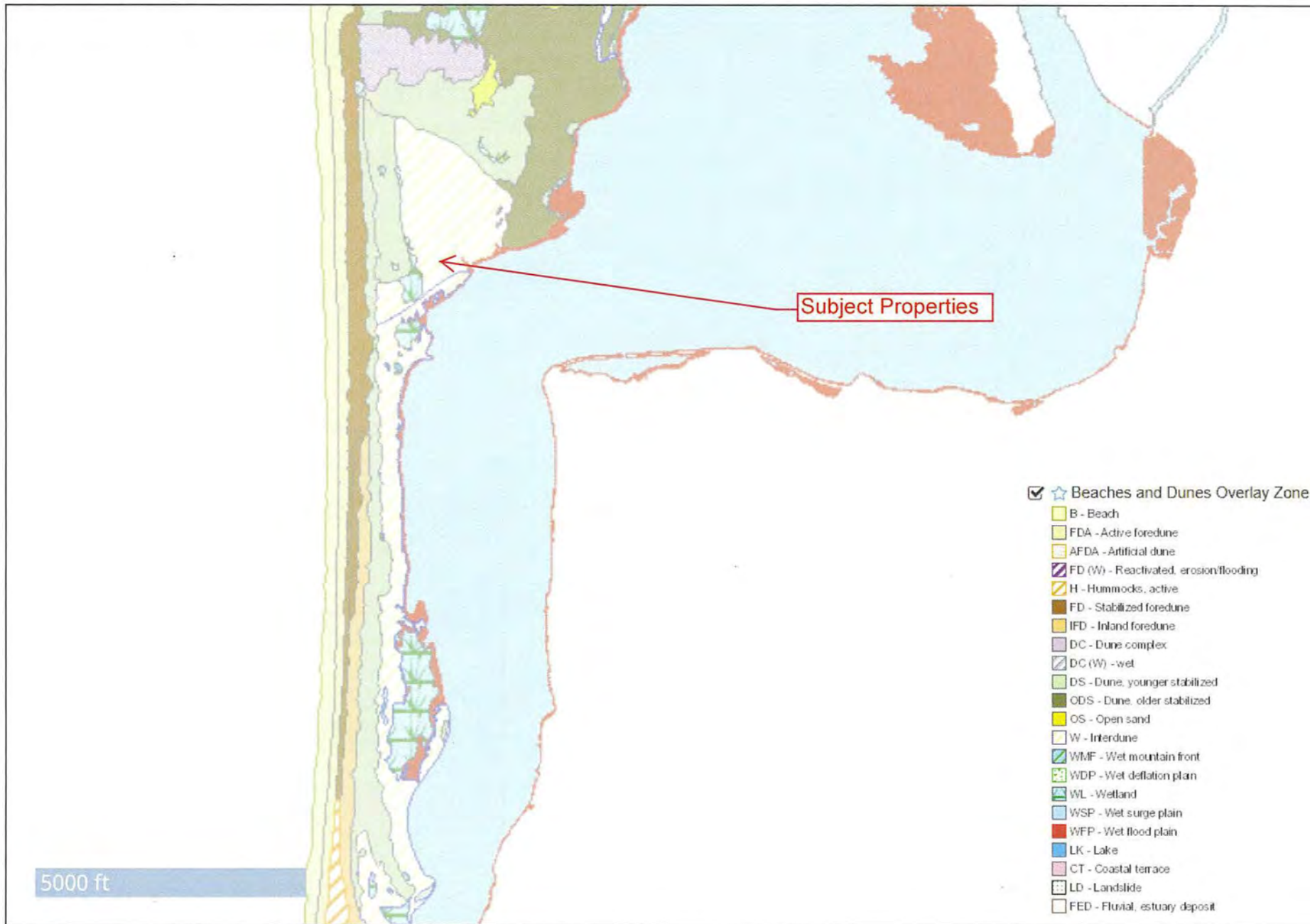
Improvement Breakdown									
Code Area	Year Built	Stat Class	Description	Trend %	Total Sqft	Ex%	MS Acct	Trended RMV	
5601	1900	511	RV Park/Campground	149	10			1,412,000	
<b>Code Area Total</b>					10			1,412,000	

Exemptions / Special Assessments / Notations	
Code Area 5601	
<b>Exemptions (AV)</b>	<b>Amount</b>
■ STATE GOVERNMENT 307.090	0
Code Area 5606	
<b>Exemptions (AV)</b>	<b>Amount</b>
■ STATE GOVERNMENT 307.090	0

**Comments** 8/15/07 Reappraised RMV for 2007-08. Changed NH. KF 6/24/09 Created split code due to new fire district. Size correction per GIS, no value change. KF 12/8/10 Added exemption for code 56.06. KF 11/10/22 Tabled land. KF

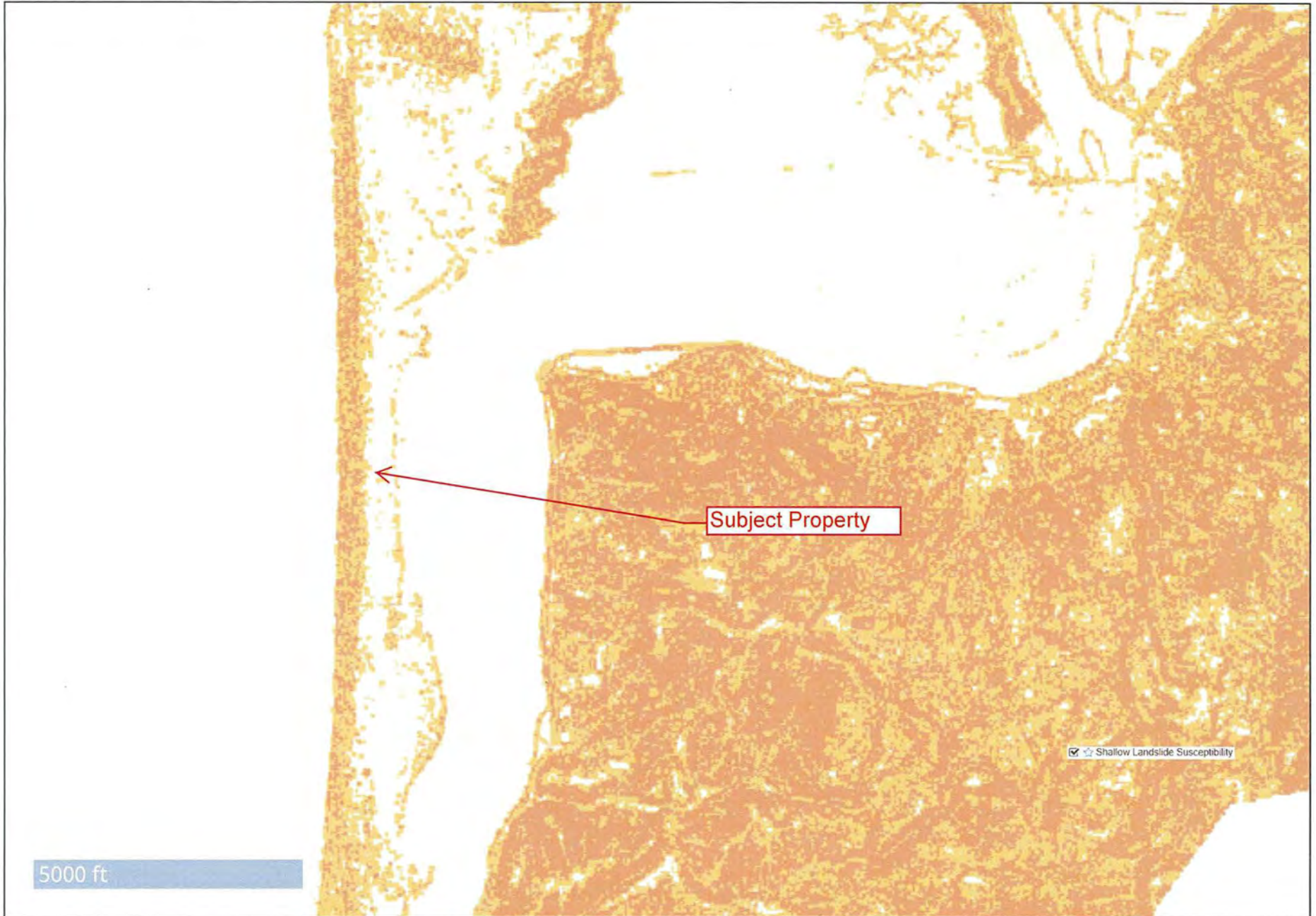


# Hazard Map



**Disclaimer:** The spatial information hosted at this website was derived from a variety of sources. Care was taken in the creation of these themes, but they are provided "as is". The state of Oregon, or any of the data providers cannot accept any responsibility for errors, omissions, or positional accuracy in the digital data or underlying records. There are no warranties, expressed or implied, including the warranty of merchantability or fitness for a particular purpose, accompanying any of these products. However, notification of any errors would be appreciated. The data are clearly not intended to indicate the authoritative location of property boundaries, the precise shape or contour of the earth or the precise location of fixed works of humans.





# Hazard Map GH



**Disclaimer:** The spatial information hosted at this website was derived from a variety of sources. Care was taken in the creation of these themes, but they are provided "as is". The state of Oregon, or any of the data providers cannot accept any responsibility for errors, omissions, or positional accuracy in the digital data or underlying records. There are no warranties, expressed or implied, including the warranty of merchantability or fitness for a particular purpose, accompanying any of these products. However, notification of any errors would be appreciated. The data are clearly not intended to indicate the authoritative location of property boundaries, the precise shape or contour of the earth or the precise location of fixed works of humans.

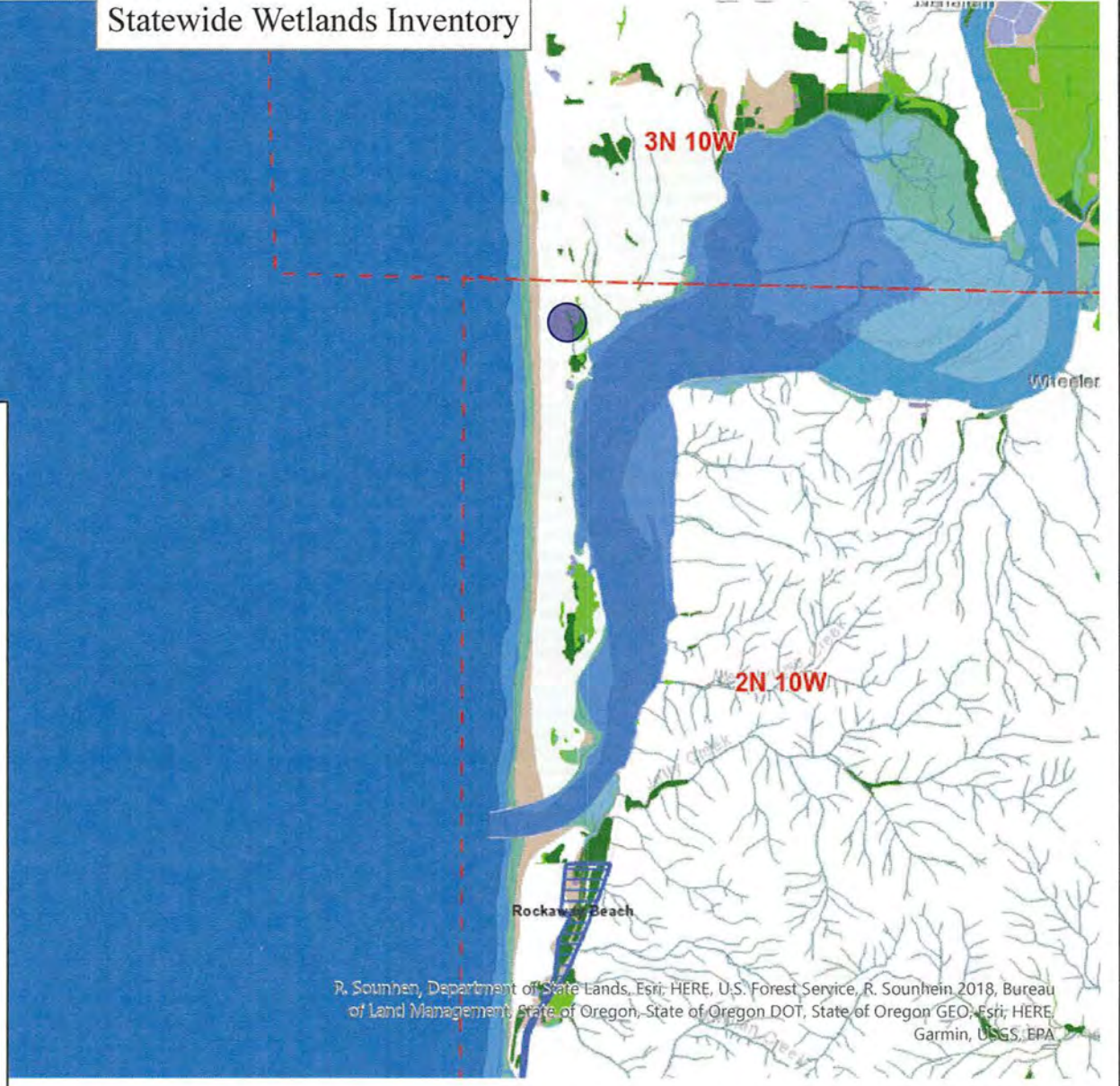


# Statewide Wetlands Inventory

-  Townships
-  LWI Study Area
-  BASEDAT.DBO.NHDWaterbody
-  BASEDAT.DBO.NHDArea

## Wetlands

-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Riverine
-  SWI Agate-Winlo Soils
-  SWI Predominantly Hydric Soil Map Units



R. Sounhen, Department of State Lands, Esri; HERE, U.S. Forest Service, R. Sounhein 2018, Bureau of Land Management, State of Oregon, State of Oregon DOT, State of Oregon GEO, Esri; HERE, Garmin, USGS, EPA



Date: 6/13/2024



The Statewide Wetlands Inventory (SWI) represents the best data available at the time this map was published and is updated as new data becomes available. In all cases, actual field conditions determine the presence, absence and boundaries of wetlands and waters (such as creeks and ponds). An onsite investigation by a wetland professional can verify actual field conditions.



# **EXHIBIT B**



## PLANNING APPLICATION

<b>OFFICE USE ONLY</b>	
<b>RECEIVED</b>	
Date Stamp <b>JAN 15 2024</b>	
BY: <i>Appt - SS</i>	
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Received by: <i>Stille</i>	
Receipt #:	
Fees: <i>1365.00</i>	
Permit No: 851- <i>24-00192</i> -PLNG	

**Applicant**  (Check Box if Same as Property Owner)

Name: Tracy Johnson Phone: 971.283.6805  
 Address: 725 Summer Street NE  
 City: Salem State: OR Zip: 97301  
 Email: Tracy.Johnson@OPRD.Oregon.gov

**Property Owner**

Name: Oregon State Parks & Recreation Phone: 971.283.6805  
 Address: 34600 Garey Street  
 City: Nehalem State: OR Zip: 97131  
 Email:

**Request:** Approval of a Conditional Use Master Plan for the next ten years of development at Nehalem Bay State Park in accordance with the requirements of TCLUO 3.040.4.b.

Type II	Type III	Type IV
<input type="checkbox"/> Farm/Forest Review	<input type="checkbox"/> Detailed Hazard Report	<input type="checkbox"/> Ordinance Amendment
<input checked="" type="checkbox"/> Conditional Use Review	<input type="checkbox"/> Conditional Use (As deemed by Director)	<input type="checkbox"/> Large-Scale Zoning Map Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Ordinance Amendment	<input type="checkbox"/> Plan and/or Code Text Amendment
<input type="checkbox"/> Exception to Resource or Riparian Setback	<input type="checkbox"/> Map Amendment	
<input type="checkbox"/> Nonconforming Review (Major or Minor)	<input type="checkbox"/> Goal Exception	
<input type="checkbox"/> Development Permit Review for Estuary Development	<input type="checkbox"/> Nonconforming Review (As deemed by Director)	
<input type="checkbox"/> Non-farm dwelling in Farm Zone	<input type="checkbox"/> Variance (As deemed by Director)	
<input type="checkbox"/> Foredune Grading Permit Review		
<input type="checkbox"/> Neskowin Coastal Hazards Area		

**Location:**

Site Address: 34600 Garey Street Nehalem, OR 97131

Map Number: 2N10000 00100	3N103200 00200	3N103300 01700
Township	Range	Section Tax Lot(s)

Clerk's Instrument #: \_\_\_\_\_

**Authorization**

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

*Tracy Johnson*

Property Owner Signature (Required)

*[Signature]*

Applicant Signature

Date

*1-15-2024*

Date





# **Tillamook County Conditional Use Master Plan Application**

*Prepared for*  
Oregon Parks and Recreation Department

April 2024





# Tillamook County Conditional Use Master Plan Application

*Prepared for*

**Oregon Parks and Recreation Department**  
725 Summer Street NE, Suite C  
Salem, OR 97301

*Prepared by*

**Parametrix**  
150 NW Pacific Park Lane, Suite 110  
Bend, OR 97701  
T. 541.508.7710 F. 1.855.542.6353  
[www.parametrix.com](http://www.parametrix.com)

April 2024 | 297-4011-016

# Citation

Parametrix. 2024. Tillamook County Conditional Use Master Plan Application. Prepared for Oregon Parks and Recreation Department by Parametrix, Bend, Oregon. April 2024.



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- A Site Plans
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# 1. Introduction

This Conditional Use Master Plan application is intended to create a master plan for the next 10 years of development at Nehalem Bay State Park in accordance with the requirements of Tillamook County Land Use Ordinance (TCLUO) 3.040.4.b:

*Master plans for improvements in the RM zone may include any of the permitted or Conditional Uses listed in this zone. The Planning Department or Commission may approve such plans for a recreation area, according to the provisions of this Section, that plan for a period not to exceed ten years. Such approvals would allow all uses provided in the plan except those that require further information or review due either to lack of plan detail or the applicability of additional Ordinance criteria or standards. Any changes to the plan which would not affect visitor capacity or increase off-site impacts may be approved by the Director. All other changes or amendments shall be reviewed as required by this Section.*

This application includes information on future projects that are allowed outright, future projects that are allowed with standards, and future projects that require conditional use approval.

The majority of the projects proposed by the Oregon Parks and Recreation Department (OPRD) have been designed and are illustrated on the attached site plans (Appendix A). Some projects are conceptual in nature at this time; OPRD anticipates the need to design and construct these projects within the next 10 years. For more information on the proposed projects, see Section 3 of this application.

## 1.1 Project Context

Nehalem Bay State Park (park) occupies roughly 1,035 acres at the mouth of the Nehalem River between the ocean shore and the Nehalem Bay estuary in Tillamook County, just south of Manzanita, Oregon. It is one of seven OPRD campground parks in the north coast region, which reaches from the Columbia River to Newport, and one of five campground parks in the region that front on the ocean shore. Visitation rates are consistently high, and the campground is consistently full during the summer months. Along with the tourists, residents of the neighboring communities value the recreation opportunities offered by the park, just as the tourists value the amenities offered by the neighboring towns.

Most of the park's visitors are campers and day visitors seeking ocean beach recreation activities. Campsite choices include conventional sites for recreational vehicles (RVs) or tents, hiker/biker campsites, yurts, and a beachfront equestrian camp. The park is popular for equestrian activity and includes horse rental concessions and riding trails in addition to the equestrian camp. A small meeting hall and a campfire program area supplement the camping and day use activities. The park also has a small airport—a unique feature for a state park—with several primitive campsites used by aviators. A paved loop trail is popular for walking and biking. The park's boat launch facilities are also very popular, especially during the salmon fishing seasons.



## 2. Existing Conditions

### 2.1 Project Site

#### 2.1.1 Site Location and Size

The park is located on a 4-mile-long sand spit between Nehalem Bay and the Pacific Ocean, south of Manzanita. The state park consists of three tax lots and is 1,035.02 acres in size. The tax lots that make up the state park are 2N10000 00100 (520.12 acres), 3N103200 00200 (298.65 acres), and 3N103300 01700 (216.25 acres). All three tax lots are owned by OPRD (Figure 1).

#### 2.1.2 Existing Zoning

##### 2.1.2.1 Recreation Management Zone

The majority of the park, existing improvements, and proposed improvements are located within the Recreation Management (RM) zone. The purpose of the RM zone is to designate areas for public and private parks and day use facilities, and it is intended to accommodate the types of development that preserve an area's natural values.

Uses permitted outright in the RM zone which are relevant to the proposed improvements include the following:

- Maintenance and operation of existing facilities.
- Recreational improvements and additions necessary to serve the same numbers and densities of visitors served by the existing facilities, provided that off-site impacts are not increased.
- Single- or multiple-unit dwellings or residential quarters for caretakers and staff members necessary to serve existing facilities.
- Utility lines excluding power transmission lines.

Uses permitted conditionally in the RM zone which are relevant to the proposed improvements include the following:

- Recreation campgrounds, primitive campgrounds, and group lodging facilities such as dormitories for visitors; this does not include commercial motels, hotels, or group cottages.
- Meeting and recreational facilities that would increase visitor capacity or off-site impacts.



Figure 1. Site Location



### 2.1.2.2 Estuary Natural Zone

Some of the proposed projects—renovations and repair of the existing boat ramp parking lot and repair of the boat ramp and dock—are located within the Estuary Natural (EN) zone. Estuary zones are applied to all estuarine waters, intertidal areas, submerged and submersible lands, and tidal wetlands up to the line of non-aquatic vegetation or the mean higher high water line, whichever is more landward. The application of a particular type of estuary zone within a given estuary is dependent upon the classification of the estuary under OAR 660-17-010, and the criteria outlined in individual zone descriptions in TCLUO Section 3.102 to 3.110.

The EN zone is intended to provide for the preservation and protection of significant fish and wildlife habitats and other areas which make an essential contribution to estuarine productivity or fulfill scientific, research, or educational needs.

Uses permitted outright in all estuary zones which are relevant to the proposed improvements include the following:

- Maintenance and repair of existing structures or facilities not involving a regulated activity as defined by TCLUO Section 3.120. *Existing structures or facilities* are defined as structures or facilities in current use or good repair as of the date of adoption of the ordinance (including structures or facilities which are in conformance with the requirements of the ordinance and non-conforming structures or facilities established prior to October 7, 1977).

Uses permitted with standards in the EN zone which are relevant to the proposed improvements include the following:

- Maintenance and repair of existing structures or facilities involving a regulated activity.
- Piling and docks in conjunction with public boat launches where an exception to Goal 16 has been approved.

### 2.1.2.3 Beach and Dune Overlay Zone

The entirety of the site is located within the Beach and Dune (BD) overlay zone. The BD overlay zone establishes criteria and performance standards to direct and manage development and other activities in beach and dune areas that accomplish the following:

- Conserve, protect, and where appropriate, restore the resources and benefits of coastal beach and dune areas.
- Reduce the risks to life and property from natural and human-induced actions on these inherently dynamic landforms.
- Ensure that the siting and design of development in beach and dune areas is consistent with Statewide Planning Goals 7 and 18 and the Hazards Element and Beaches and Dunes Element of the *Tillamook County Comprehensive Plan* (Tillamook County 2024).

In the BD overlay zone, all uses that are permitted within the base zone may be permitted but are subject to the requirements and limitations of the BD overlay zone.

TCLUO Section 3.530.5.b identifies activities that are exempt from the requirement of a Dune Area Development Permit. Exempt activities that are relevant to the proposed improvements include the following:

- Maintenance, repair, or alterations to existing structures that do not alter the building footprint or foundation and do not constitute substantial improvement as defined in Article 11.



- Construction of structures for which a building permit is not required.
- An excavation which is less than 2 feet in depth or which involves less than 25 cubic yards of volume.
- Fill that is less than 2 feet in depth or that involves less than 25 cubic yards of volume.
- Maintenance and reconstruction of public and private roads, streets, parking lots, driveways, and utility lines, provided the work does not extend outside the existing right-of-way boundary.
- Maintenance and repair of utility lines and the installation of individual utility service connections.

### **2.1.3 Existing Improvements**

Existing facilities on the site include two day use areas, beach access, a boat ramp with adjacent seasonal dock, an amphitheater, hiking and biking trails, 265 campsites with water and electrical service, 18 yurts, bathrooms with flush toilets and showers, an equestrian camp with 17 sites, hiker/biker camp with 8 sites, an airport with an airstrip and airport camp with 6 primitive fly-in campsites, an RV dump station, playgrounds, a meeting hall, park maintenance yard and office, park manager residence, and seasonal staff housing (already permitted, in progress). Vendors offer kayak tours and horseback rides in the state park.

### **2.1.4 Existing Natural Features**

Most of the park's sand spit and dune formations were unvegetated until planting for dune stabilization began in the 1950's using European beach grass, Scotch broom, and coast pine species. These plant species now largely dominate the vegetation patterns over most of the park. European beach grass, Scotch broom, Himalayan blackberry, Japanese knotweed, and English ivy—all invasive nonnatives—continue to spread and threaten to alter the more viable native habitats. The most valuable native habitats are associated with the shorelines, numerous wetlands, and the older mixed native conifer forests on the higher dune ridges; some of the trees are 200 years old. The setting between the open ocean and the bay, coupled with the low elevation of most of the park landscape, makes it susceptible to natural hazards of storm surges, tsunamis, and ocean and river flooding.

Wetlands are present throughout the site. A wetland delineation of areas within and adjacent to proposed improvements is being completed as part of this project. The design and siting of proposed improvements is intended to minimize impacts to wetlands on the site to the extent possible.

A Geologic Hazard Report was issued for the entire site on March 16, 2023 (see Appendix B). This report has previously been approved by Tillamook County during permitting for the staff cabins project (#851-23-000080-PLNG).

## **3. Proposed Project**

### **3.1 Project Need**

Nehalem Bay is one of two state parks in the north coast region that has room to expand camping facilities to help meet the growing unmet demand. OPRD campground parks on the north coast are consistently filled during the summer, and many visitors are turned away. OPRD is also seeking to

diversify the types of campsites and lodging options offered at the park to accommodate a wider range of visitor preferences. In addition to capacity-increasing projects, several elements of the existing park infrastructure require rehabilitation to continue supporting park facilities and activities.

### 3.2 Proposed Improvements

This Conditional Use Master Plan Application includes the proposed improvements listed in Table 1. Improvements include both allowed and conditional uses. The improvements would allow OPRD to repair and upgrade existing facilities and to meet current and expected future demand for recreation facilities at the site. Descriptions of the improvements follow the table.

Table 1. Proposed Improvements

Project	Zone	Approval Type
New C/D Loop Restroom Building	RM	Allowed Use
New Equestrian Loop Restroom Building	RM	Allowed Use
RV Site Upgrades	RM	Allowed Use
Horse Concessionaire Loop Upgrades	RM	Allowed Use
Utility (Water, Sewer, Electrical) System Upgrades	RM	Allowed Use
Road Improvements	RM	Allowed Use
North Day Use Lot Improvements	RM	Allowed Use
Existing Boat Ramp Parking Lot Improvements	EN	Allowed Use
Boat Ramp Repairs	EN	Allowed Use*
Future Oregon Coast Trail Connection	RM	Allowed Use**
Cabin Loop	RM	Conditional Use Approval
Boat Ramp Overflow Parking	RM	Conditional Use Approval
New RV Dump Station	RM	Conditional Use Approval
Relocated Hiker/Biker Camp	RM	Conditional Use Approval
Future Camp Loop	RM	Conditional Use Approval

\* Use is allowed with standards.

\*\* Use is allowed within Recreation Management zone. Offsite connection may cross other zones.

#### 3.2.1 Allowed Uses

The projects listed below are allowed outright within the RM and EN zones. They are included in this Conditional Use Master Plan Application as requested by Tillamook County to provide a general description of currently planned improvements within Nehalem Bay State Park anticipated within approximately the next 10 years.

##### 3.2.1.1 New C/D Campground Loop Restroom/Shower Building

Campground Loops A, B, E, and F have restroom and shower buildings at the center of each loop, but Loops C and D do not. Consequently, campers in these two loops must walk a longer distance to the restroom and shower buildings in Loops B and E, which each then receive higher levels of use. To better serve campers in Loops C and D, OPRD intends to construct a new restroom and shower



building between these two loops. The new building would be located to avoid impacts to wetlands between Loops C and D.

Proposed improvements are detailed below. Please refer to the Park Project Map in Appendix A.

- Develop the site for a new shared restroom/shower building between Loops C and D.
- Expand, pave, and formalize the existing gravel parking area southeast of the new C/D restroom/shower building.
- Establish 6-foot-wide asphalt-paved Americans with Disabilities Act (ADA)-accessible routes to the new restroom/shower building.

### **3.2.1.2 New Equestrian Loop Restroom**

A new restroom building would be developed to serve the existing equestrian camp loop. It would be a prefabricated two-restroom building located near sites H7 and H6.

### **3.2.1.3 RV Site Upgrades**

Several existing RV sites in the park are in need of upgrades to better suit the needs of OPRD and park visitors. Proposed upgrades are detailed below. Please refer to the Park Project Map in Appendix A.

- Disconnect approximately three existing host sites from sewer and return the sites to the inventory of campsites which may be reserved by the public.
- Connect approximately five existing sites to sewer and convert to host sites.
- Upgrade approximately seven existing sites to accessible sites to comply with Architectural Barrier Act (ABA) standards at a minimum, and meet OPRD Accessibility Design Standards where conditions permit.

### **3.2.1.4 Horse Concessionaire Loop Upgrades**

This project would improve the existing horse concessionaire area near the south day use parking lot by adding a gravel loop road, adding two new host sites, improving the layout of two existing host sites, and providing new utility hookups for all four sites. The new sites are not expected to increase visitor capacity or increase off-site impacts. Please refer to the Park Project Map in Appendix A.

### **3.2.1.5 Utility Upgrades**

The park has six main campground loops and an equestrian campground loop. Water and power services are needed at each campsite for RV hookups. The existing water and power systems in the campground loops were originally installed in the 1970s, and the materials have surpassed their rated service lives. Existing water piping consists of a variety of materials including asbestos concrete, steel, and PVC (polyvinyl chloride). The water system leaks, and there are occasional line breaks that require temporary shutoffs and emergency repairs.

Loops D, E, F, and the equestrian camp loop would receive upgrades to the electrical distribution systems and combined power/water utility pedestals. This would upgrade utility service to approximately 147 sites in Loops D, E, and F and add hookups to 17 equestrian sites.

In addition, water distribution mains would be replaced in all campground loops, new sewer connections would be made to host sites, and sewer connections would be made between the south day use restroom, horse concessionaire host sites, and the boat ramp sewer pump station.



The proposed improvements include upgrades to existing water, electrical, and sewer systems. The proposed utility upgrades are detailed below. Please refer to the Park Project Map in Appendix A.

### Water System Improvements

- Replace a segment of asbestos-cement transite pipe between the existing backflow-prevention valve assembly and the existing pressure-reducing valve assembly.
- Replace water distribution piping in Loops A through F.
- Replace water services and RV power/water pedestals in Loops D through F.
- Replace water distribution piping in the equestrian loop, install new water services, and install new RV power/water pedestals at each site.
- Provide water service to the new equestrian camp restroom building.
- Provide water service to the new C/D restroom/shower building.
- Replace water service piping to the horse concessionaire area.

### Sewer System Improvements

- Extend sewer piping from the existing mains to serve sewer hookups at host sites.
- Connect the new C/D restroom/shower building to an existing sanitary manhole.
- Install a new pump station and pressure sewer to connect the equestrian camp restroom building to the existing pressure sewer main.
- Install a gravity sewer collection network for the south day use restroom and horse concessionaire host site sewage. Decommission the existing septic tank and drainfield.
- Install a new pump station by the horse corrals to convey sewage to the boat ramp pump station.

### Electrical System Improvements

- Upgrade the electrical services and distribution system and replace (approx. 150) existing RV site hookups in Loops D, E, and F.
- Provide electrical service for the new C/D restroom/shower building.
- Establish new Tillamook People's Utility District (TPUD) service for 17 RV site hookups and the new restroom building in the equestrian camp. The service would be extended from the on-site primary power supply line.
- Upgrade the site electrical system in the horse concessionaire area to serve four host sites and one pump station.

#### 3.2.1.6 Road Improvements

The asphalt pavement on the main park access road is cracked and deteriorating, and the road needs to be repaved. Proposed entrance road improvements are detailed below. Please refer to the Park Project Map in Appendix A.

- Repave and widen the existing entrance road from Sandpiper Lane to a maximum of 28 feet wide. The existing road is approximately 22 feet wide.
- Improve grading for proper stormwater drainage.
- Maintain the existing culverts that cross the entrance road.

- Relocate the fee station and add paved parallel parking spaces so visitors can conveniently purchase passes for parking at the boat ramp or south day use area.

### **3.2.1.7 North Day Use Lot Improvements**

The removal of the existing dump station and related infrastructure (lanes, water towers, hatches, and bollards) would require parking lot repair and presents the opportunity to reconfigure the north day use parking lot for improved circulation and capacity. Proposed improvements are detailed below. Please refer to the Park Project Map in Appendix A.

- Re-stripe the north day use parking area and add ADA-compliant parking stalls and an accessible route to the Meeting Hall.
- Formalize the existing neighborhood connection trail between Glenesslin Lane and the northernmost day use parking area.
- Improve north day use parking area access by adding a drop-off loading area, an accessible walkway, and curb ramps.

### **3.2.1.8 Existing Boat Ramp Parking Lot Improvements**

Boating is one of the major day use activities at Nehalem Bay State Park. The Nehalem Bay Boat Launch experiences heavy use during the peak crabbing and fishing seasons. The existing boat ramp provides boating access to Nehalem Bay and includes a parking lot with 12 parallel vehicle spaces, 2 head-in vehicle spaces, 22 head-in boat trailer spaces, and 4 ADA boat trailer spaces.

The existing boat ramp parking lot has a difficult layout for maneuvering, limited capacity, poor grading, no drainage facilities, degraded pavement, and areas of base failure. The layout would be reconfigured to improve capacity, function, circulation, and accessibility at the boat ramp and dock. A queueing area would be delineated for boat trailers near the ramp, and ready/tie-down areas would be provided.

Work that would be completed as part of this improvement is detailed below. Please refer to the Park Project Map in Appendix A.

- Reconfigure the existing boat ramp parking to provide 31 standard stalls, 2 accessible standard stalls, and 1 accessible boat trailer stall.
- Relocate ADA-compliant parking spaces to a location that shortens the access route to the existing restroom, and provide an ADA-compliant asphalt path to the restroom.
- Provide an ADA-compliant asphalt path from the existing and new boat ramp parking areas to the boat ramp.
- Improve existing drainage.
- Construct ready and tie-down areas along the access road near the boat ramp. Both areas would be sized to accommodate two trucks with boat trailers.

### **3.2.1.9 Boat Ramp Repairs**

The existing boat ramp and dock are battered by wind, wakes, waves, and debris from both the upstream and downstream directions. As part of this improvement, wave attenuators and debris booms may be added and cracked boat ramp panels may also be replaced. This improvement would include in-water work below the high tide line and would require coordination with the Oregon



Department of State Lands and the U.S. Army Corps of Engineers (USACE), as well as the submittal of a Joint Permit Application. Final design of these improvements is to be determined.

### **3.2.1.10 Future Oregon Coast Trail Connection**

OPRD identified the need to connect the park to the existing Oregon Coast Trail alignment. A connection is proposed from the western end of Neptune Way to the park entrance road and/or the existing multiuse path east of the airport. Final alignment would be determined at the time of design; it would be based on the results of natural resource and cultural resource surveys.

The connection to Neptune Way would cross parcels outside of the park boundary, and further coordination with the owners of these parcels would be required. These parcels are located within the City of Manzanita's urban growth boundary and would require coordination with the City for necessary permits prior to development.

## **3.2.2 Conditional Uses**

The projects below are subject to conditional use approval in the RM zone.

### **3.2.2.1 Cabin Loop**

A new cabin loop is proposed to offer more lodging options for visitors seeking additional amenities and increased comfort. Areas have been identified off the existing maintenance access road that continues east from Horizon Lane and terminates at the debris disposal area. Due to airport runway clearance restrictions, new cabins cannot be sited within the landing/takeoff zone where trees have been cleared.

Construction of the new cabins would include site development, road improvement, parking, trail connections, utility connections, and construction of up to 14 cabins in phases, with a mix of unit types including deluxe cabins (with plumbing) and rustic cabins. A shared restroom/shower building would be constructed to serve the rustic cabins, which do not include plumbing. This improvement is expected to develop an approximately 0.5- to 1.0-acre area within uplands; no wetland impacts are anticipated.

Vehicular access improvements would include an asphalt paved access road, a turnaround loop, parking areas, and a steel gate restricting access to the maintenance area. The access road and turnaround loop would meet applicable fire access road requirements. It is anticipated that each deluxe cabin would be served by two parking spaces and the rustic cabins would be served by one parking spaces, on average. Additional vehicle parking is available in the large parking lot adjacent to the Meeting Hall. A minimum of two cabins would be designated as ADA-accessible and would require accessible parking and paved accessible routes. Electric vehicle charging spaces are desired and may be provided if feasible and warranted.

New pathways would be constructed to facilitate non-vehicular access between parking spaces, cabins, shared buildings, and existing trails. Water infrastructure would include a water main extension from Necarney Boulevard. Sewer infrastructure would include a gravity main extension from Necarney Boulevard, manholes at required spacing, and service connections to the restroom/shower building and deluxe cabins. Electrical service would be established or extended to serve the new cabins, restroom/shower building, and potential electric vehicle charging stations.

Please refer to the Cabin Loop Site Plan in Appendix A.



### 3.2.2.2 Boat Ramp Overflow Parking

During peak times for fishing and crabbing, the existing boater parking area overflows to the road shoulder. Expansion of the access road and additional parking would alleviate the crowding and lack of capacity.

A new overflow parking area would be built between the boat ramp, day use parking lot, and entry drive. New pedestrian pathways would be constructed between the overflow parking lot, restrooms, and boat ramp. Work that would be completed as part of this project is detailed below. Please refer to the Boat Ramp Overflow Parking Site Plan in Appendix A.

- Construct a new parking area along the boat ramp access road to provide 32 boat trailer stalls.
- Reroute the existing horse trail around the new parking area.

### 3.2.2.3 New RV Dump Station

The existing RV dump station is located near the park entry kiosk, within the north day use parking area. The existing circulation patterns are inconvenient and confusing for RV users exiting the park. The dump station should be located where traffic leaving the park via the main entrance would turn right from the park road. OPRD intends to relocate the RV dump station to a new site off the campground access road at the location of the existing hiker/biker camp or to reorganize the north day use parking area, dump station, and access road to improve traffic flow within the existing paved area. If the hiker/biker campsites are displaced as a result of this project, they would be relocated east of the new dump station; see details in the next section.

The new dump station would include two dedicated lanes with dump hatches and water towers, a bypass lane, sidewalks, and a garbage and recycling drop-off area. If pre-treatment is required to reduce wastewater strength and thickness, multiple septic tanks may also be required. Water, power, and sewer connections would need to be extended to serve the new dump station. For more details, refer to the New RV Dump Station and Relocated Hiker/Biker Camp Site Plan in Appendix A.

### 3.2.2.4 Relocated Hiker/Biker Camp

The park is an established camping option for cyclists riding along the Oregon Coast Bike Route. The existing hiker/biker camp is nestled in the trees near the registration booth and has water spigots, bike racks, lockers, an information kiosk, and eight sites with tent pads, fire rings, and tables. As noted above, this camp area may be displaced by the new RV dump station.

The proposed site for the new hiker/biker camp is east of the proposed dump station and existing multiuse path. The site would include up to 16 hiker/biker sites; each would be furnished with a fire pit, table, tent pad, and bike rack(s). The loop would include a small shelter and bike pods with lockers, power supply, water supply, benches, a bike repair station, and bike racks. For more details, refer to the New RV Dump Station and Relocated Hiker/Biker Camp Site Plan in Appendix A.

### 3.2.2.5 Future Camp Loop

The *Nehalem Bay State Park Master Plan* (OPRD 2009) identified the need to expand camping opportunities within the park by adding an additional camp loop, group camps, and cabins or yurts. The proposed new camp loop is located to the east of Loops D, E, and F. This loop may include up to 5 group sites, up to 50 RV or tent sites, and/or up to 10 cabins. Site selection and design of this loop is conceptual at this time and will be refined at the time of construction with consideration of wetlands, floodplains and other constraints. The total number of sites would depend on the amount



of buildable land in this location. Please refer to the Future Camp Loop, Group Camp, and Cabins Site Plan in Appendix A.

## 4. Applicable Standards and Criteria

### 4.1 Recreation Management Zone

#### 4.1.1 TCLUO Section 3.040.4

**STANDARDS:** *Land divisions and development in the RM zone shall conform to the following standards, unless more restrictive supplemental regulations apply:*

- a. *Recreational developments shall retain substantial open space on the property.*

**Response.** The Nehalem Bay State Park site is 1,035.02 acres in size. Much of the site would remain as open space after completion of the proposed projects described in this application. The projects are planned in proximity to existing improvements within the park. The southern and eastern portions of the spit would remain largely undeveloped.

Developed lands within the park currently make up approximately 84 acres including developed areas and roadways. New proposed improvements outside of the currently developed area—the new restroom building, new boat ramp overflow parking lot, new cabin loop, new hiker/biker camp, and new tent camp—would develop approximately 23 additional acres of land. This would leave a substantial portion (90%) of the park as open space.

- b. *Master plans for improvements in the RM zone may include any of the permitted or Conditional Uses listed in this zone. The Planning Department or Commission may approve such plans for a recreation area, according to the provisions of this Section, that plan for a period not to exceed ten years. Such approvals would allow all uses provided in the plan except those that require further information or review due either to lack of plan detail or the applicability of additional Ordinance criteria or standards. Any changes to the plan which would not affect visitor capacity or increase off-site impacts may be approved by the Director. All other changes or amendments shall be reviewed as required by this Section.*

**Response.** This application is intended to establish a County-approved Conditional Use Master Plan for proposed improvements at Nehalem Bay State Park per TCLUO 3.040.4. Both permitted and conditional uses that are proposed over the planning period of the next 10 years are included within this application.

This Conditional Use Master Plan Application seeks approval for the following conditional uses:

- New boat ramp overflow parking lot
- Relocated RV dump station
- Relocated hiker/biker camp
- New cabin loop
- Boat ramp repairs
- New camp loop, group camp, and cabins

The following proposed improvements are understood to be uses allowed outright, but they are included within this permit narrative to develop an understanding of all the proposed work:

- New C/D restroom/shower building
- New equestrian loop restroom
- RV site upgrades
- Horse concessionaire loop upgrades
- Utility upgrades
- Access road improvements
- North day use lot reconfiguration
- Existing boat ramp parking lot improvements
- Future Oregon Coast Trail Connection

c. *The minimum lot size shall be 40 acres. The Director may approve a smaller lot size according to the provisions of Article VI, provided that forest resource values are maintained in the vicinity.*

**Response.** Nehalem Bay State Park consists of three existing tax lots; each is over 200 acres in size and they total more than 1,000 acres. No new lots or lot line adjustments are proposed as a part of this application.

## 4.2 Estuary Development Standards

### 4.2.1 TCLUO Section 3.140.7

*FILL IN ESTUARINE WATERS, INTERTIDAL AREAS AND TIDAL WETLANDS: These standards shall apply only to fill in excess of 50 c.y. or fill of less than 50 c.y. which requires a Section 10 or 404 Permit from the U.S. Army Corps of Engineers.*

*(a) When fill in estuarine waters, intertidal areas or tidal wetlands is proposed, evidence shall be provided by the applicant and findings made by the County that:*

- (1) The fill is necessary for navigation or other water dependent uses that require an estuarine location, or is specifically allowed by the management unit or zone; and*
- (2) A need (i.e. a substantial public benefit) is demonstrated and the use or alteration does not unreasonably interfere with public trust rights; and,*
- (3) If no feasible alternative upland locations exist; and,*
- (4) If adverse impacts are minimized.*

**Response.** The proposed fill is associated with the repair of the existing boat ramp at the park. Proposed fill is less than 50 cubic yards, but in-water work below the high tide line would trigger the need for Section 10 and Section 404 Permits from United States Army Corps of Engineers (USACE).

A functional boat ramp in good repair is needed to allow boaters safe and reliable access to Nehalem Bay from the park. The boat ramp is a water-dependent use which requires a location within the EN zone to allow boat access to Nehalem Bay.

Repairs to the boat ramp would provide a substantial public benefit. Boating is one of the most popular activities at the park. The project would ensure that access to Nehalem Bay is preserved for future park visitors.



No feasible alternative upland locations exist. Due to the nature of the use, it must be located at the water's edge to provide boat access to the bay.

Adverse impacts would be minimized through design. The repaired boat ramp would match the footprint and dimensions of the existing boat ramp to the extent feasible. Best management practices would be in place during repair to reduce impacts to the surrounding area.

*(b) When fill for the purpose of on-site maintenance of existing facilities is proposed, evidence shall be provided by the applicant and findings made by the County that:*

*(1) There are no alternatives to fill to maintain proper operation of the facility.*

*(2) The amount of fill proposed is confined to the geographic area of the existing facility, and is the minimum amount necessary to fulfill the need.*

**Response.** Fill within the EN zone is required, as materials would need to be installed to repair the existing ramp. The amount of fill would be the minimum possible to address the need for repairs, and the fill would be confined to the existing boat ramp footprint as much as is practicable.

*(c) Where existing public access is reduced, suitable access as part of the development project shall be provided.*

**Response:** This standard is not applicable. The proposed project would preserve an existing public access point and ensure its availability for future park users.

*(d) The fill shall be placed at a time that will minimize sedimentation and turbidity. The work periods specified in the Oregon Guidelines for Timing of In-Water Work to Protect Fish and Wildlife Resources (ODFW, 1976) shall be followed unless approval of alternative work periods has been obtained from the ODFW.*

*(e) Only non-polluted materials may be used for fill. Materials which would create water quality problems are not permitted.*

*(f) The perimeters of the fill shall be provided with erosion prevention measures, consistent with Shoreline Stabilization standards.*

*(g) Fills shall be placed so that adjacent or nearby property is not adversely impacted by increased erosion, shoaling or flooding produced by changes in littoral drift or other changes in water circulation patterns. An affidavit from a professional registered engineer or hydrologist may impact assessment required in Section 3.120.*

*(h) Fill proposals requiring mitigation shall include a mitigation plan consistent with Mitigation standards.*

*(i) Fill in estuarine waters, intertidal areas and tidal wetlands shall be subject to the requirements of the State Fill and Removal Law (ORS 541.605 - 541.665), The Rivers and Harbors Act of 1899, the Clean Water Act of 1977 (PL 95-217) and other applicable State and Federal laws. These requirements shall be enforced by State and Federal agencies with regulatory authority over fill projects.*

**Response.** The boat ramp repair project would be designed to minimize impacts to natural resources and processes within the Nehalem Bay Estuary Zone. With a condition of approval to obtain an Estuary Zone Development permit prior to construction, the permit application

would demonstrate how the project meets these standards prior to development. OPRD would also coordinate with and obtain applicable permits from State and Federal resource agencies prior to commencing work.

*(j) An impact assessment shall be conducted during the local, State, and Federal review of permit applications for fill in estuarine waters, intertidal areas, or tidal wetlands according to the provisions outlined in Section 3.120. Identified adverse impacts shall be minimized to be consistent with the resource capabilities and purposes of the area.*

**Response.** The applicant would conduct an impact assessment during the local, state, and federal permit application review processes prior to project construction. The impact assessment would be developed according to the provisions of TCLUO Section 3.120.5.

## 4.3 Beach and Dune Development

OPRD understands that a Beach and Dune Development Permit would be required prior to construction of some proposed improvements at the park. It is understood that the existing Geologic Hazard Report developed for the site, issued March 16, 2023, is valid for the purpose of meeting the requirements of TCLUO Section 3.530 for a period of 5 years, i.e., through March 16, 2028.

### 4.3.1 TCLUO Section 3.530.5.f

*A decision to approve a Dune Area Development Permit shall be based upon findings of compliance with the following standards:*

- (A) The proposed development complies with the applicable requirements and standards of subsections (7), (8), (9), (10), and (13) of this section;*

**Response.** The applicable standards of subsection (7) are discussed below. Subsections (8), (9), (10), and (13) are not applicable to the proposed improvements.

*(7) ADDITIONAL DEVELOPMENT LIMITATIONS IN DUNE AREAS: In addition to the conditions, requirements, and limitations imposed by any required Geologic Hazard Report, all development subject to a Dune Area Development Permit shall conform to the following requirements:*

*(a) Construction of residential, commercial, or industrial buildings is prohibited on beaches, active foredunes, other foredunes that are conditionally stable and subject to ocean undercutting or wave overtopping, interdune areas (deflation plains) that are subject to ocean flooding, and within an area identified by FEMA FIRM maps to be subject to ocean flooding, except on lands that are subject to an approved exception to Goal 18, Implementation Requirement 2, as set forth in Section 6.1 of the Beaches and Dunes Element of the Tillamook County Comprehensive Plan.*

**Response.** Not applicable; no such buildings are proposed within the areas identified.

*(b) Other development in these beach and dune areas shall be permitted only if adequate findings are provided to the County which demonstrate that the proposed development is adequately protected from any geologic hazards, wind erosion, undercutting, ocean flooding and storm waves; and is designed to minimize adverse environmental effects. In addition, findings shall be provided to address the following:*

- (A) The type of use proposed and the adverse effects it might have on the site and adjacent areas;*



*(B) Temporary and permanent stabilization programs and the planned maintenance of new and existing vegetation;*

*(C) Methods for protecting the surrounding area from any adverse effects of the development; and*

*(D) Hazards to life, public and private property, and the natural environment that may be caused by the proposed use.*

**Response.** The type of proposed uses at the site are detailed in Section 3 of this application. The proposed projects are not anticipated to have adverse effects on the site or surrounding areas. Proposed uses are consistent with existing uses at the park, and development would be located in proximity to existing facilities and designed to avoid impacts to wetlands and other natural resources.

Existing vegetation would remain undisturbed outside of areas where construction would occur. Temporary and permanent stabilization programs and vegetation maintenance plans would be created prior to development.

Methods such as construction best management practices would be in place to protect the surrounding area from adverse effects during construction activities. Specific plans and methods would be developed prior to construction. With a condition of approval to obtain a Beach and Dune Development Permit prior to construction, the County would review those details at the time of that application.

The Geologic Hazard Report concludes that the proposed improvements do not increase geologic hazards to the site or adjacent properties (see Appendix B). Hazards to life, public and private property, and the natural environment are not anticipated.

*(d) Safest site requirement: All new construction or substantial improvements shall be located within the area most suitable for development based on the least exposure to risk from coastal hazards as determined by a qualified licensed geoprofessional as part of a Geologic Hazard Report prepared in accordance with subsection (6). Notwithstanding the provisions of the underlying zone, as necessary to comply with this requirement, any required yard or setback except for the Oceanfront Setback outlined in subsection (8) may be reduced by 10 feet or up to 50%, whichever is greater.*

**Response.** Proposed improvements are reviewed in the *Geologic Hazard Report* developed by GRI, issued March 16, 2023. The report states that the proposed improvements are feasible from the standpoint of geologic hazards. Projects are located outside of the low, moderate, high, and very high hazard zones mapped by GRI within the report. Please see Appendix B for the *Geologic Hazard Report*.

*(e) Building heights shall be measured from the existing (pre-construction) grade. Only in Fore-dune Management Areas shall additional fill be allowed on an oceanfront lot to achieve the required four feet plus Base Flood Elevation, consistent with the provisions of Section 3.510: Flood Hazard Overlay Zone. In this instance, building height shall be measured on the fore-dune grade from four feet plus Base Flood Elevation.*

**Response.** All building heights would be measured from existing grade and would comply with the height requirements of the TCLUO. The proposed improvements would not be located within a Fore-dune Management Area.

*(f) Accessory structures and on-site sewage disposal systems, which the Department determines are consistent with the purpose of this zone, may be permitted oceanward of the Oceanfront Setback Line, subject to the standards of this section and the following provisions:*

*... [subsections A, B, and C omitted]*

**Response:** Not applicable, no such accessory structures are proposed oceanward of the Oceanfront Setback Line.

*(g) Beach Access:*

*(A) Non-structural, low-impact pedestrian footpaths to the beach, not to exceed four feet in width, shall be permitted in all dune areas, except where restricted in Foredune Management Areas.*

**Response:** One new beach access trail is proposed from the new hiker/biker and tent camp loops. The access path would be non-structural, low-impact, and less than 4 feet in width.

*... [subsections B, C, and D omitted]*

**Response.** Not applicable; no boardwalks, structural pathways, or off-road recreation use areas are proposed. The proposed projects are not located within a Foredune Management Area.

*(h) Land Grading Practices: No excavations for residential and commercial site development shall be done earlier than thirty (30) days prior to the start of construction. Following the completion of major construction, excavated areas shall be stabilized. At a minimum, the site shall be stabilized within nine (9) months of construction completion.*

**Response.** OPRD would comply with land grading practices established in TCLUO Section 3.530. Specific grading and stabilization plans and timelines would be developed prior to construction of improvements.

*(B) Any proposed foredune grading for site preparation cannot go below the Base Flood Elevation plus four feet; shall be the minimum area necessary for the construction of a structure; shall include plans for temporary and permanent stabilization of the site, including a re-vegetation plan of exposed sand areas; and shall conform with the requirements of subsection (11)(b) of this section. Additionally, all graded sand shall remain in the beach-foredune system;*

**Response.** This standard is not applicable; no foredune grading is proposed on the site.

*(C) The Geologic Hazard Report conforms to the standards for such reports set forth in subsection (6) of this section; and*

**Response.** The Geologic Hazard Report (Appendix B) conforms to the standards of TCLUO Section 3.530.6. It was previously reviewed and approved by Tillamook County during the permitting process for the staff cabins (#851-23-000080-PLNG). The report was completed for the entirety of the site and all proposed improvements.

*(D) The development plans for the application conform, or can be made to conform, with all recommendations and specifications contained in the Geologic Hazard Report.*



**Response.** Improvements have been designed to comply with the recommendations in the Geologic Hazard Report. For those projects that are conceptual in nature, future design would comply with recommendations in the report.

## 4.4 Conditional Use

### 4.4.1 TCLUO Section 6.040

Any *CONDITIONAL USE* authorized according to this Article shall be subject to the following criteria, where applicable:

1. *The use is listed as a CONDITIONAL USE in the underlying zone, or in an applicable overlying zone.*

**Response.** Proposed Conditional Use Master Plan Application improvements at Nehalem Bay State Park include both allowed and conditional uses.

In the RM zone, uses permitted outright include utility upgrades, the new C/D loop restroom/shower building, the new equestrian loop restroom building, RV site improvements, horse concessionaire loop improvements, utility upgrades, road improvements, north day use parking lot improvements, and existing boat ramp parking lot improvements.

In the EN zone, uses permitted outright include improvements to the existing boat ramp parking lot. Uses permitted with standards include boat ramp repairs.

In the BD overlay zone, all uses that are permitted within the base zone may be permitted but are subject to the requirements and limitations of the BD overlay zone.

Conditional uses in the RM zone include the new cabin loop, boat ramp overflow parking, a new RV dump station, relocated hiker/biker site loop, and the future camp loop.

2. *The use is consistent with the applicable goals and policies of the Comprehensive Plan.*

**Response.** The planned improvements at the park are consistent with the applicable goals and policies of the *Tillamook County Comprehensive Plan*, including the following:

#### Goal 8 Recreation

*Policy a.1: A modest amount of public outdoor recreational development shall be encouraged in Tillamook County*

**Response.** Improvements at the park would provide additional outdoor recreational opportunities in Tillamook County without expanding the amount of land that is currently used for recreational purposes. All improvements would be built within the existing park.

*Policy a.2: Community service agencies shall make every effort to plan well in advance for the seasonal impacts of a growing population of recreationists.*

**Response.** OPRD developed the proposed list of improvements as a response to the increased demand for recreation facilities on the coast. Improvements at the park would provide additional capacity for campers, boaters, and day use visitors. Proposed improvements are intended to be inclusive of the next 10 years of planned improvements at the park.

*Policy a.10: Careful coordination of recreation development plans between local, state, federal, and private agencies shall be encouraged.*

**Response.** OPRD has, and will continue to, coordinate with local jurisdictions, other state agencies, and federal agencies throughout the planning, permitting, and development of improvements at the park as required by applicable local, state, and federal regulations.

#### **Goal 16 Estuarine Resources**

*Policy 5.3.2. Further acquisition, sale or development of shorelands owned by federal, state and local governments shall be carried out in a manner to retain existing public access and maximize future public access to these publicly owned shorelands, consistent with resource capabilities and site sensitivity to human use. To this end:*

*c. All units of government providing or supporting public access to public coastal areas should give particular attention to use capabilities in order to protect areas from over-use and to prevent potential damage to resources.*

*d. Public access to shorelands owned by federal, state and local governments should be improved where feasible and consistent with authorized use.*

*g. Special consideration should be given to making some designed areas of the County's publicly owned shorelands available to the elderly, handicapped, and physically disabled.*

**Response.** Improvements at the boat ramp site would support existing public access to shorelands within the park. Improved parking facilities currently located within the estuary zone would allow for more efficient access to the site, and a repaired boat ramp would allow for continued safe boater access to Nehalem Bay. Parking lot reconfiguration, new accessible sites, and an ADA-complaint path to the boat ramp would increase access for users of all abilities. The project would repair existing facilities and would not expand the developed area.

*Policy 5.4.1: Maintenance and repair of existing docks, moorages, marinas and other recreational facilities shall be permitted within all estuary zones, and within Water-Dependent Development (WDD) zones and other shoreland areas.*

**Response.** Maintenance and repair of facilities at the boat ramp site have been identified as allowed outright or allowed with standards in this application.

*Policy 5.4.3: To preserve significant fish and wildlife habitat and proved continued biological productivity, recreation in the Estuary Natural (EN) zone shall be limited to boat ramps for public use where no dredging or fill for navigational access is needed.*

**Response.** There is an existing boat ramp at the site. No dredging or fill for navigational access is proposed as part of the site improvements.

*Policy 5.5.5: The siting of recreational developments and areas where recreational activities are focused within the shoreland area shall comply with the following conditions:*

*a. areas of concentrated public access and recreational development which experience heavy use should, where appropriate include auxiliary facilities such as parking and sanitation;*



*b. parking areas should be located away from the waterfront, access to beach and waterfront areas provided by walkways other methods;*

*c. the design and siting of high intensity recreational facilities should account for possible adverse impacts on adjacent or nearby private property.*

**Response.** Parking and restroom facilities exist at the boat ramp site. Improvements would allow for more efficient access to the boat ramp site.

Improvements to the existing parking area would be constructed within the footprint of the existing parking lot as much as is feasible. Access to the boat ramp would be provided by new walkways.

No adverse impacts are expected to adjacent private properties. The existing boat ramp is located in the interior of the park, approximately 0.4 miles from the nearest private property located to the east across Nehalem Bay.

#### *Policy 6.4 Boat Ramps, Docks, and Moorages*

*1. Maintenance and repair of existing boat ramps, docks and moorages shall be permitted within all estuary zones, and within Water-Dependent Development (WDD) shoreland zones and other shoreland areas.*

**Response.** Repair of the existing boat ramp has been identified as a use allowed with standards in this application.

#### **Goal 18 Beaches and Dunes**

*2.4a All decisions on land use actions in beach and dune areas other than older stabilized dunes shall be based on the following specific findings unless they have been made in the comprehensive plan:*

*(a) The type of use proposed and the adverse effects it might have on the site and adjacent areas;*

*(b) The temporary and permanent stabilization programs and the planned maintenance of new and existing vegetation;*

*(c) Methods for protecting the surrounding area from any adverse effects of the development; and,*

*(d) Hazards to life, public and private property, and the natural environment which may be caused by the proposed use.*

**Response.** Please see the findings addressing this policy in Section 4.3 of this application.

*2.4b Development in beach and dune areas shall comply with the requirements of the Flood Hazard Overlay zone.*

**Response.** The proposed improvements are primarily located outside of the flood hazard area. A portion of the existing boat ramp is within the flood hazard area. All applicable requirements of the Flood Hazard Overlay Zone would be addressed during project design and with the application and approval of a Floodplain Development Permit prior to construction.

*2.4c Grading and vegetation removal shall be the minimum necessary to accommodate the development proposed. Removal should not occur more than 30 days prior to the start of construction. Open sand areas shall be temporarily stabilized during construction and all new and pre-existing open sand areas shall be permanently stabilized with appropriate vegetation.*

**Response.** Please see the response addressing this policy in Section 4.3 of this application.

*2.4e Cluster development in dune areas is strongly encouraged. Development shall occur on the most stable portion of the site.*

**Response.** The proposed improvements are located in close proximity to existing development within the park. A Geologic Hazard Report has been completed for the site which states that the location of proposed development is suitable.

*3. The parcel is suitable for the proposed use considering its size, shape, location, topography, existence of improvements and natural features.*

**Response.** The park site is suitable for the proposed uses, as detailed below.

- **Size.** The park property is over 1,000 acres in size. Proposed improvements totaling approximately 23 acres would either be within or adjacent to existing developed areas. The majority of the property would remain as open space after construction of the proposed improvements. Thus, the size of the park is suitable for the proposed improvements.
- **Shape.** The park is located on a sand spit between the Pacific Ocean and Nehalem Bay. The northern portion of the site is approximately 0.75 miles wide and 1.0 miles long. The southern portion of the parcel is approximately 0.3 to 0.5 miles wide and extends approximately 2.5 miles south. The majority of existing and proposed improvements are located within the northern area, which is close to roadways and existing development outside of the park. Proposing improvements in the northern portion of the site is suitable because there is ample room to accommodate the improvements without encroaching on setbacks or buffers.
- **Location.** The park is located south of the city of Manzanita and between Nehalem Bay and the Pacific Ocean. There is already an established state park on the site; proposed improvements would be a continuation of this use. The location is suitable for the proposed improvements because they would be separated from adjacent residential areas on the north, and increased impacts to adjoining properties from the projects are not anticipated.
- **Topography.** The locations of proposed improvements are mostly flat and would require minimal site grading prior to construction. Grading requirements for the BD overlay would be followed during the construction process. With these considerations, the topography of the site is suitable for the proposed improvements.
- **Existing improvements.** The proposed improvements are consistent with the existing improvements on the site. The site is currently a developed state park with over 300 campsites and yurts, restrooms, other facilities, and many recreation amenities. The proposed improvements are consistent with the character of existing development at the park, and they would support continued functionality of the park into the future.
- **Natural features.** Due to the nature of the park, improvements have been designed to protect and enhance enjoyment of the existing natural features of the site. Proposed improvements have been designed to minimize impacts to natural features. New development would minimize impacts to wetlands on the site. Vegetation would be removed only where necessary for construction, and it would be restored after construction, as appropriate.



Development within the estuary zone would comply with all requirements of local, state, and federal regulations and would be designed to minimize impacts. Thus, the site is suitable for the proposed park and recreation improvements.

*4. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs or prevents the use of surrounding properties for the permitted uses listed in the underlying zone.*

**Response.** The proposed improvements to Nehalem Bay State Park would not alter the existing character of the site, which currently operates as a recreation area attracting day use visitors and campers. The use of surrounding properties for permitted uses would not be limited, impaired, or prevented by the development of the proposed park improvements because changes to the surrounding area outside of the park are not proposed or required. There is minimal expected traffic impact from the proposed improvements over time, and no increase in noise, off-site light/glare, or other emissions are expected that could affect the surrounding area.

*5. The proposed use will not have detrimental effect on existing solar energy systems, wind energy conversion systems or wind mills.*

**Response.** There are no solar energy systems, wind energy conversion systems, or windmills in the vicinity of the project. No impacts to such facilities are anticipated.

*6. The proposed use is timely, considering the adequacy of public facilities and services existing or planned for the area affected by the use.*

**Response.** The park is currently served by existing public facilities, which are provided by the following service providers. As part of the proposed projects, utility upgrades within the park—water, electrical, and sewer system—would be completed to serve new and existing amenities. These upgrades are intended to serve both current visitors and the anticipated future capacity of the park.

#### **Electricity: Tillamook People's Utility District**

TPUD primary power infrastructure extends through the park, providing convenient access for new electrical service connections to be established for proposed uses that require electricity. Electrical demands from proposed uses are not expected to exceed the capacity of this infrastructure. New electrical services will be established in coordination with TPUD. This effort is currently underway.

OPRD would coordinate a Line Extension Agreement with TPUD, if needed, to support projects at the time of development.

#### **Water: City of Manzanita Public Works.**

All existing and proposed uses in the park are served by the existing 2-inch water meter and service connection off of the City of Manzanita water main in Sitka Lane. This point of connection is at a point of the system that has a looped supply, which provides excellent redundancy, flow, and pressure characteristics.

The existing 2-inch water meter and the park water distribution system (downstream side of meter) are adequate to support the estimated additional domestic water demands associated with proposed uses. Because no additional water service is needed, approvals are not anticipated to be required from the City of Manzanita to add uses on-site that would lead to insignificant increases in water demand through the existing meter. OPRD has met with Dan Weitzel, Public Works Director for the City of Manzanita, regarding proposed water system improvements in the City right-of-way including relocation of the water meter and replacement of the double check assembly/backflow

prevention device. OPRD has prepared a water system analysis memorandum and will present findings to the City of Manzanita to secure a development permit for the water system improvements. Additional system development charges (SDCs) will not be required because the proposed meter will replace a meter of the same size in a new location.

#### **Sewer: Nehalem Bay Wastewater Agency**

NBWA sewer infrastructure extends through the park with an 8-inch gravity sewer main, 4-inch pressure sewer main, and multiple pump stations. Sewer flows from proposed uses are not expected to exceed the capacity of this infrastructure. This existing public sewer infrastructure provides convenient access for new sewer service connections to be established for proposed uses that require sewer. New electrical services will be established in coordination with NBWA.

OPRD has coordinated the proposed projects with NBWA. OPRD received an estimate for sewer SDCs that would be required associated with the proposed projects. OPRD and NBWA agreed that sewer permits and SDCs would be paid for as specific projects approach development. Please see the attached Sewer Availability Letter in Appendix C.

#### **Road: Tillamook County Public Works – Road Department, Oregon Department of Transportation, City of Manzanita Public Works**

Vehicular access to the park is available via two entrances: north and west. The north entrance is at the intersection of Garey Street and Sandpiper Lane. The west entrance is at the intersection of Necarney Boulevard and Horizon Lane. These are all rights-of-way under the jurisdiction of Tillamook County. New traffic generated from proposed uses is not expected to exceed to capacity of this existing infrastructure. Proposed construction in the County right-of-way may require a right-of-way permit from Tillamook County.

OPRD met with Zdenek Vymazal of the Oregon Department of Transportation (ODOT) Region 1 to discuss proposed improvements at the park and potential impacts to ODOT facilities. ODOT does not require a transportation impact analysis for uses which would generate less than 50 peak-hour trips. The proposed improvements were modeled and determined to be below this threshold. Please see the attached correspondence with ODOT in Appendix C.

OPRD contacted Gregory Cickavage of Tillamook County Public Works to discuss the proposed improvements at the park and potential impacts to County roads. Mr. Cickavage indicated that utility and non-utility permitting would be required for work proposed within the County's right-of-way. This work would include relocation of the existing water meter, replacement of the existing water main, and repaving of the entrance road if it extends into County right-of-way. Please see the attached correspondence with Tillamook County Public Works in Appendix C.

#### **Fire Protection: Nehalem Bay Fire & Rescue District**

The design and construction of proposed structures and their access roads would be subject to and would satisfy the fire protection requirements of the Nehalem Bay Fire & Rescue District.

OPRD contacted Frank Knight, Captain at Nehalem Bay Fire & Rescue. He provided a letter confirming compliance for the staff housing improvements. Please see the attached correspondence in Appendix C.



## 5. Conclusion

OPRD requests approval for the projects identified within this application. The applicant understands that additional conditions of approval may be required for some uses, especially for those that are conceptual at this time and those that are allowed with standards. Additional permitting processes would need to be completed prior to development of many of the proposed improvements. The applicant’s understanding of additional permitting processes for each improvement is outlined in Table 2.

OPRD looks forward to working with Tillamook County on the review and approval of this application. Please let us know if additional information is needed.

Table 2. Additional Approvals Required

Project	Approval Type	Additional County Approvals Potentially Required Prior to Development
New C/D Loop Restroom Building	Allowed Use	Combined Building/Zoning Permit, Dune Development Permit
New Equestrian Loop Restroom Building	Allowed Use	Combined Building/Zoning Permit, Dune Development Permit
RV Site Upgrades	Allowed Use	None Anticipated
Horse Concessionaire Loop Upgrades	Allowed Use	Dune Development Permit <sup>c</sup>
Utility (Water, Sewer, Electrical) System Upgrades	Allowed Use	County Utility Permits
Road Improvements	Allowed Use	Dune Development Permit, Non-utility ROW permit <sup>b</sup>
North Day Use Lot Improvements	Allowed Use	Dune Development Permit <sup>c</sup>
Boat Ramp Parking Improvements	Allowed Use	Estuary/Floodplain Development Permit
Boat Ramp Repairs	Allowed Use <sup>a</sup>	Estuary/Floodplain Development Permit, Impact Analysis
Future Oregon Coast Trail Connection	Allowed Use	Non-utility ROW permit <sup>b</sup>
Cabin Loop	Conditional Use Approval	Combined Building/Zoning Permit, Dune Development Permit
Boat Ramp Overflow Parking	Conditional Use Approval	Dune Development Permit <sup>c</sup>
New RV Dump Station	Conditional Use Approval	Dune Development Permit, County Utility Permits
Relocated Hiker/Biker Camp	Conditional Use Approval	Dune Development Permit <sup>c</sup>
Future Camp Loop, Group Camp, and Cabins	Conditional Use Approval	Combined Building/Zoning Permit (for Cabins and Restroom Building), Dune Development Permit

Note: This table does not include trade permits.

a Use is allowed with standards.

b For work located within Tillamook County right-of-way. If none, this permit would not be required

c If these proposed uses meet an exemption for Dune Development Permit, review would not be required.

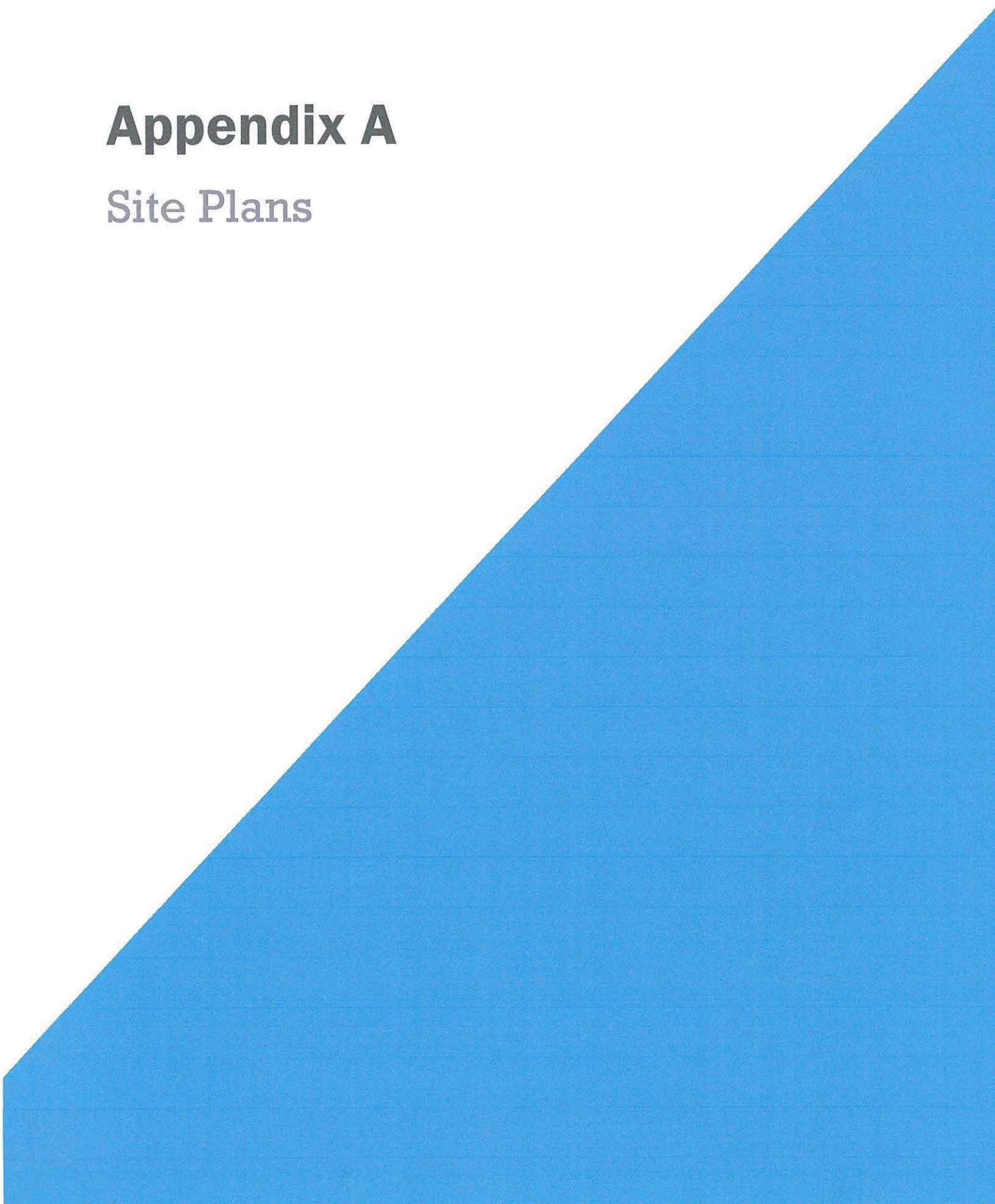
## 6. References

OPRD (Oregon Parks and Recreation Department). Nehalem Bay State Park Master Plan. 2009. Accessed January 17, 2024. <https://www.oregon.gov/oprd/PRP/Documents/PLA-Adopted-Nehalem-Bay-2009.pdf>.

Tillamook County. 2024. Tillamook County Comprehensive Plan. Accessed January 17, 2024. <https://www.tillamookcounty.gov/commdev/page/comprehensive-plan>.

# Appendix A

## Site Plans







PROJECT MAP  
1" = 600'



REVISION	DATE	BY

APPROVED BY: RWR	CHECKED BY: SPR	DESIGNED BY: COL	DRAWN BY: MLH	DATE: 03/07/2024
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PARK PROJECT MAP  
CONDITIONAL USE PERMIT APPLICATION  
NEHALEM BAY STATE PARK  
OREGON PARKS AND RECREATION DEPARTMENT

SHEET:	1
OPRIS#:	CONTRACT #:
	9155



CABIN LOOP SITE PLAN



FIELD VERIFY ALL LOCATIONS  
 APPROXIMATE - ACTUAL LOCATIONS TO  
 BE DETERMINED BY THE  
 CONSTRUCTION PROJECT MANAGER  
 FROM TO CONSTRUCTION.

SCALE IN FEET  
 0 10 20 30 40 50

NORTH

OWNER: OREGON PARKS AND RECREATION DEPARTMENT  
 SHEET: 2  
 CONTRACT #: 9155

CABIN LOOP SITE PLAN  
 CONDITIONAL USE PERMIT APPLICATION  
 NEHALEM BAY STATE PARK

OREGON PARKS AND RECREATION DEPARTMENT

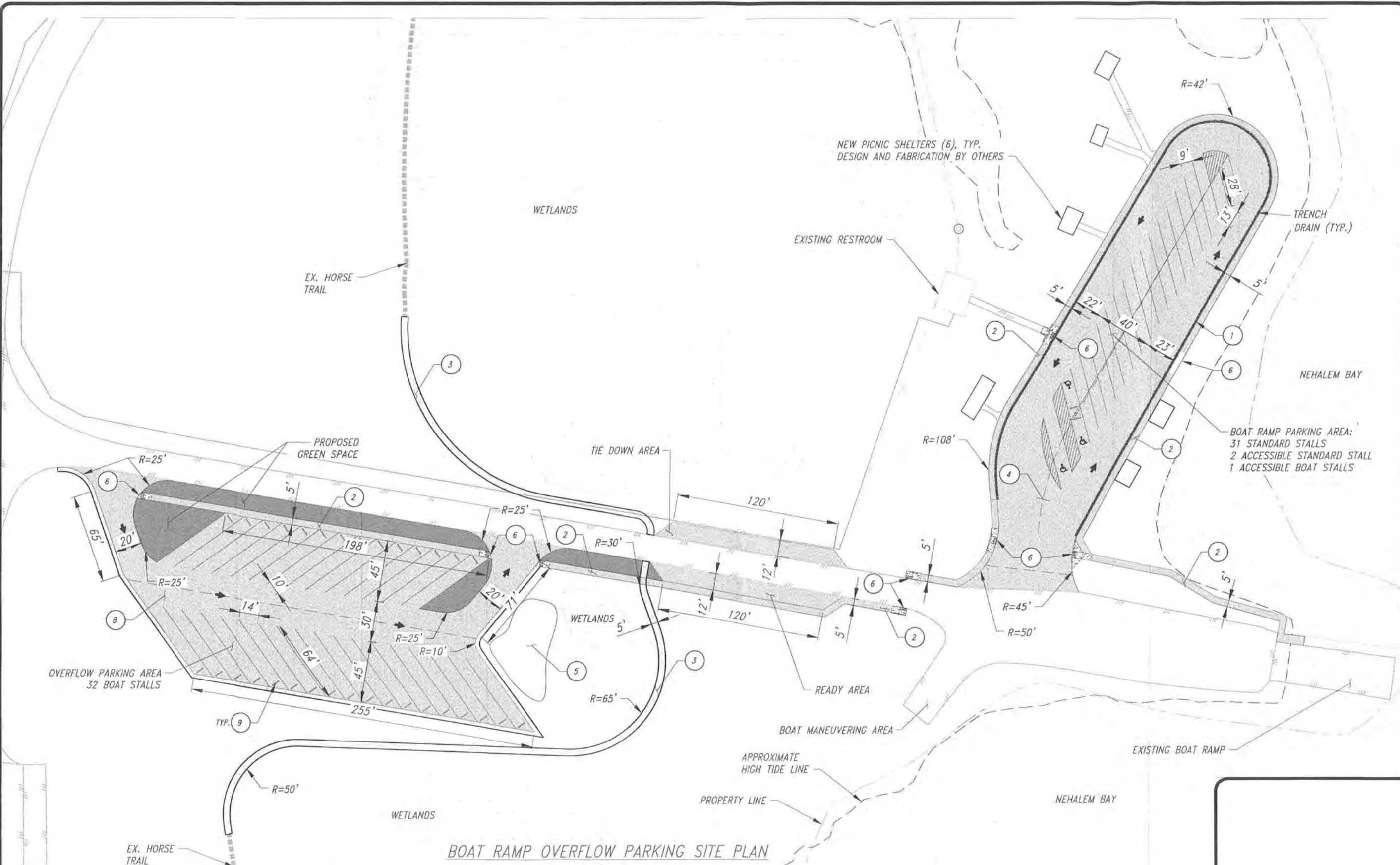


APPROVED BY: RWR  
 CHECKED BY: SPR  
 DESIGNED BY: CJA  
 DRAWN BY: MLH DATE: 03/14/2024

REVISION	DATE	BY



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**BOAT RAMP OVERFLOW PARKING SITE PLAN**

- SHEET NOTES**
1. ROUTES DESIGNATED AS ACCESSIBLE ROUTES SHALL COMPLY WITH SECTION 1017 OF THE ADA ACCESSIBILITY STANDARDS.
  2. EXISTING LINEWORK IS BASED ON AVAILABLE GIS AND LIDAR DATA. ADDITIONAL SURVEY WILL BE COORDINATED FOLLOWING THIS SUBMITTAL.

- CONSTRUCTION NOTES**
1. CONSTRUCT STANDARD CURB
  2. CONSTRUCT ASPHALT PATH
  3. CONSTRUCT 8" THICK 3/4"-0" COMPACTED GRAVEL PATH
  4. CONSTRUCT ASPHALT PAVING SECTION
  5. NOT USED
  6. CONSTRUCT ASPHALT PAVING SECTION
  7. NOT USED
  8. CONSTRUCT ASPHALT PAVING SECTION
  9. INSTALL PRECAST CONCRETE WHEEL STOP

- LEGEND**
- NEW ASPHALT
  - EX. WETLAND/MARSHLAND AREA
  - PROPOSED GREEN SPACE, SEE LANDSCAPE PLANS FOR DETAILS



REVISION	DATE	BY

APPROVED BY: RWR  
 CHECKED BY: SPR  
 DESIGNED BY: CJA  
 DRAWN BY: MLH  
 DATE: 03/14/2024



BOAT RAMP OVERFLOW PARKING SITE PLAN  
 CONDITIONAL USE PERMIT APPLICATION  
 NEHALEM BAY STATE PARK  
 OREGON PARKS AND RECREATION DEPARTMENT

SHEET: 3  
 OPRIS#: CONTRACT #:  
 9155



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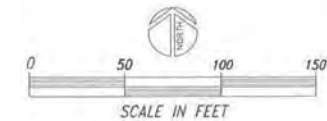
**DUMP STATION AND HIKER/BIKER CAMP SITE PLAN**

**SHEET NOTES**

1. BIKE PODS SHALL INCLUDE 8 LOCKERS WITH USB CHARGING PORTS, OVERHEAD SHELTER, SITTING AREAS, BIKE REPAIR STAND, INFO KIOSKS, AT LEAST ONE U-SHAPED BIKE RACK, AND YARD HYDRANT
2. RESTROOM FACILITY TO INCLUDE 4 UNISEX STALLS AND SHALL BE HEATED TO PREVENT FREEZING
3. PARKING STALLS SHALL BE A MINIMUM OF 19' LONG FOR STALLS ANGLED 30-60 DEGREES PER OPD ACCESSIBILITY DESIGN GUIDELINES
4. ACCESSIBLE PARKING AREAS INCLUDING STALLS, SIGNAGE, ACCESS AISLES, RAMPS, ETC. SHALL MEET THE REQUIREMENTS OF THE OREGON TRANSPORTATION COMMISSION'S STANDARDS FOR ACCESSIBLE PARKING SPACES AND THE OPD ACCESSIBILITY DESIGN STANDARDS

**CONSTRUCTION NOTES**

1. CONSTRUCT 2" THICK, ACP WEARING COURSE, 2" THICK ACP BASE COURSE ON 11" AGGREGATE BASE AND NON-WOVEN SUBGRADE GEOTEXTILE IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS WITH 2" GRAVEL SHOULDERS
2. CONSTRUCT 6" THICK CONCRETE SIDEWALK ON 8" AGGREGATE BASE WITH NON-WOVEN GEOTEXTILE (DESIGN TO BE CONFIRMED WITH GEOTECH)
3. CONSTRUCT 3" THICK ASPHALT PATH ON 6" AGGREGATE BASE WITH NON-WOVEN GEOTEXTILE (DESIGN TO BE CONFIRMED WITH GEOTECH)
4. CONSTRUCT 8" THICK 6,000 PSI REINFORCED CONCRETE SLAB FOR GARBAGE DISPOSAL AREA.
5. CONSTRUCT COMPACTED GRAVEL
6. CONSTRUCT HIKER/BIKER CAMPSITE C/W 12X12 RAISED TENT PAD, BIKE RACK, METAL FIRE PIT, AND PICNIC TABLE.
7. CONSTRUCT RV DUMP STATION C/W CONCRETE PAD, RAISED CONCRETE ISLANDS, VEHICLE WASHOUT STATION, LIGHTING, AND COVERED SANITARY WASTE DISPOSAL HOOKUP.
8. INSTALL 10' SPAN BY 8" CLEAR WIDTH PEDESTRIAN BRIDGE (DESIGNED BY OTHERS) C/W ABUTMENTS (DESIGNED BY OTHERS)
9. INSTALL TRAIL SEATING AREA C/W 6' LONG BENCH (DESIGNED BY OTHERS) IN ACCORDANCE WITH SECTION 2.2.3 OF OPD ACCESSIBILITY DESIGN STANDARDS.
10. INSTALL 2' WIDE CURB CUT.
11. 30'X40' AREA RESERVED FOR SMALL SHELTER. INSTALL SMALL SHELTER (DESIGNED BY OTHERS) C/W A MINIMUM OF FOUR (4) PICNIC TABLES
12. INSTALL SPLIT RAIL FENCE
13. INSTALL MIN. 43"X18"X66" CONCRETE PAD FOR REDUCED PRESSURE BACKFLOW ASSEMBLY ENCLOSURE
14. INSTALL GATE.
15. CRACK SEAL AND SEAL COAT EXISTING PAVEMENT
16. CONSTRUCT TENT CAMPSITE C/W 16X16 RAISED TENT PAD, METAL FIRE PIT, AND PICNIC TABLE.
17. INSTALL SALVAGED BIKE POD C/W LOCKERS, LOW VOLTAGE LIGHTING AND CONTROL, SHELTER BENCH, YARD HYDRANT AND REPAIR STATIONS.
18. INSTALL NEW BIKE POD (DESIGN BY OTHERS)
19. CONSTRUCT 4-STALL RESTROOM (DESIGN BY OTHERS)
20. CONSTRUCT 4-STALL RESTROOM (DESIGN BY OTHERS)



**FIELD VERIFY ALL LOCATIONS**  
ALL LOCATIONS SHOWN ARE APPROXIMATE. ACTUAL LOCATIONS TO BE DETERMINED IN FIELD BY CONSTRUCTION PROJECT MANAGER PRIOR TO CONSTRUCTION.

DESIGN DEVELOPMENT

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

REVISION	DATE	BY

APPROVED BY: RWR.	CHECKED BY: SPR.	DATE: 11/20/2023



**DUMP STATION AND HIKER/BIKER CAMP SITE PLAN  
CONDITIONAL USE PERMIT APPLICATION  
NEHALEM BAY STATE PARK**

**OREGON PARKS AND RECREATION DEPARTMENT**

SHEET: 4
OPRIS#: CONTRACT #: 9155

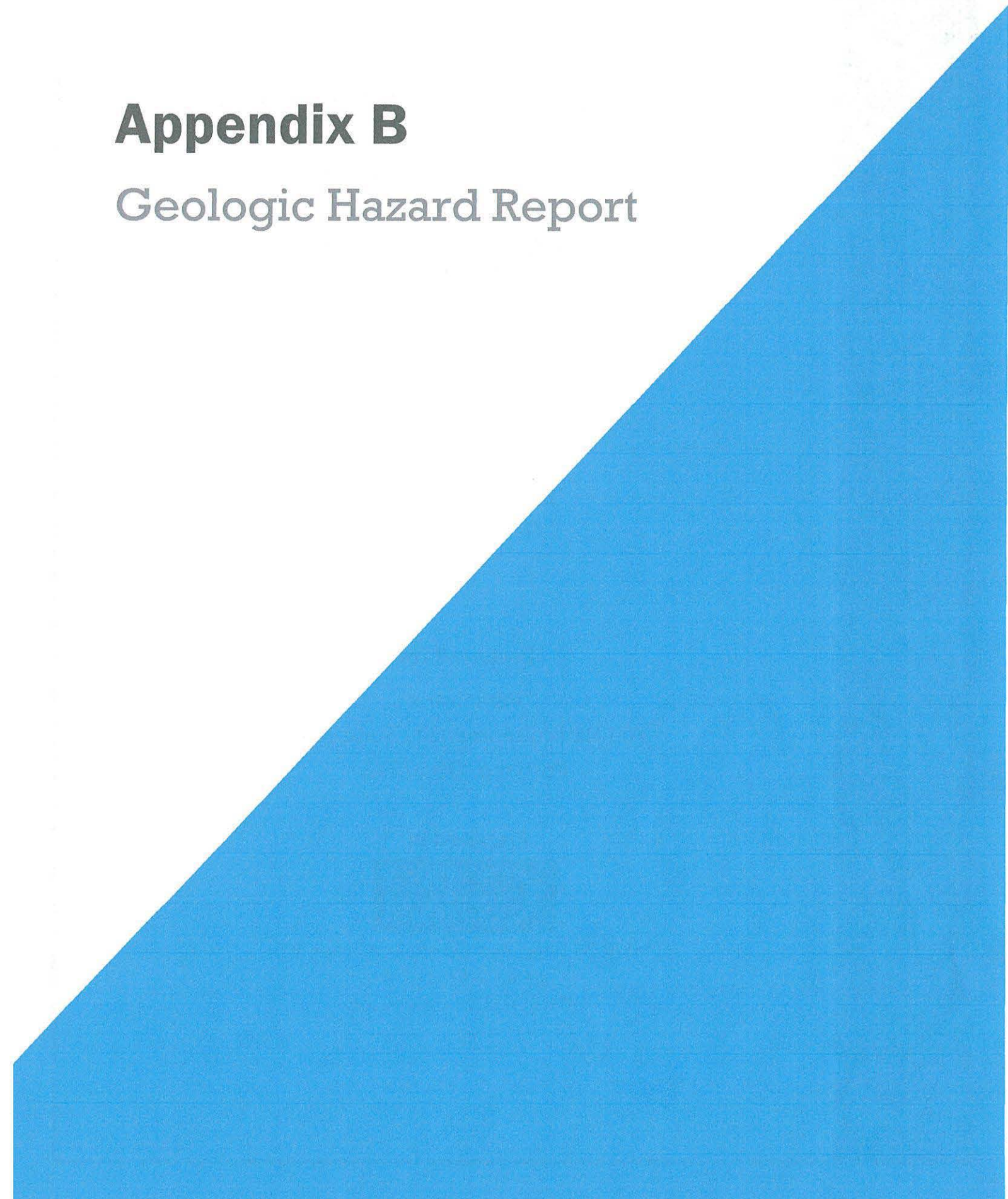






# **Appendix B**

## Geologic Hazard Report



# **Geologic Hazard Report**

## **GO Bond Nehalem Bay State Park Projects**

Tillamook County, Oregon

**January 17, 2023**

(ISSUED 3/16/2023)

**Prepared for**

Parametrix

700 NE Multnomah St., Suite 1000,  
Portland, OR 97232

**Prepared by**



16520 SW Upper Boones Ferry Road, Suite 100  
Tigard, OR 97224-7661  
(503) 641-3478 | [www.gri.com](http://www.gri.com)



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### FIGURES

- Figure 1: Vicinity Map
- Figure 2: Site Plan
- Figure 3: Geologic Hazard Map

## 1 INTRODUCTION

As requested, GRI has prepared this Geologic Hazard Report for proposed improvements at Nehalem Bay State Park, Tillamook County, Oregon (Vicinity Map, Figure 1). GRI's understanding of the proposed project elements is discussed in Section 2 below. The project area is mapped within a tsunami hazard area, and the Tillamook County Land and Use Ordinance (TCLUO) Section 4.130(1), Geological Hazard Areas requires an evaluation of the geologic hazards at the site. The purpose of our work was to conduct an evaluation of the project area for geological hazards and geotechnical conditions that could affect the feasibility of the project. Our services included review of available subsurface information for the site area, review of published geologic literature, site reconnaissance, and preparation of a geologic hazards report that will be used to accompany a Tillamook County geologic hazard permit application.

## 2 PROJECT DESCRIPTION

The Oregon Parks and Recreation Department (OPRD) is considering upgrades to the Nehalem Bay State Park in Tillamook County, Oregon. The potential improvements developed by OPRD are shown on the Site Plan, Figure 2.

As outlined in GRI's scope of work (SOW) for the project, GRI completed preliminary geotechnical, geologic, and pavement investigations to provide preliminary conclusions and recommendations for development of new staff housing, upgrading electrical utilities to Camp Loops D-F, upgrading water and sewer service to Camp Loops A-F (including restrooms), adding a new restroom between Camp Loops C and D, adding a new tent camping area near the Equestrian Loop, adding a new restroom and expanding water distribution at the Equestrian Loop, adding a Cabin Loop with a new restroom, relocating the dump station, relocating the hiker/biker camp in, renovating the Boat Ramp and parking area, adding an overflow parking lot for boat trailers, connecting the day use restroom to the site sewer system, and extending utilities to the concessionaire camp sites.

## 3 SITE DESCRIPTION

### 3.1 Site Conditions

The site is located on the Nehalem spit along the Oregon coastline with the Pacific Ocean south of the town of Manzanita Oregon. The site is at an elevation of about 40 feet near the northern portion of the site to just above sea level near the southern portion of the site. All elevations in this report reference the North American Vertical Datum of 1988 (NAVD 88).

The proposed project area includes partially and heavily vegetated sand dunes, including heavily forested areas with dense groves of Lodgepole pine trees and coastal grasses and shrubs. The developed portion of the park includes campgrounds improved for



recreational vehicle use, multiple bathroom facilities, a meeting hall, playground areas, day use area, several parking lots, a boat launch to Nehalem Bay, a ranger station/registration kiosk, an RV dump station, and maintenance and administrative facilities. An airstrip is located to the east of the main park development. There are several paved roadways throughout the developed portion of the park and a paved multi-use pathway looping around the airstrip to the east of the main campground area. South of the developed park area is a narrow north-south oriented sand spit which extends to the mouth of the Nehalem River at the confluence with the Pacific Ocean. The entire western boundary of the park includes a broad, windswept sandy beach fronting the Pacific Ocean.

The site is located between the beachfront of the Pacific Ocean and Nehalem Bay on a flat area between large sand dunes that have been stabilized by vegetation to the east and the beach face berm to the west. The ground slopes to the south at about 2° to the bay. Two small drainages cross the site discharging to Nehalem Bay.

### 3.2 Geology

Published geologic mapping indicates the site is mantled with Quaternary beach sand consisting of moderately well sorted, fine- to medium-grained beach sand and well sorted, cross bedded fine-grained sand comprising active and inactive dune ridges. Locally includes basalt gravel and boulder deposits derived from rocky headlands and fine fluvial and lacustrine mud and sand behind coastal dune ridges. Underlying the beach deposits are lower Miocene and Oligocene bioturbated thick bedded to massive marine tuffaceous siltstones containing abundant white tuff beds, calcareous concretions, and sparse thin sandstones. The Alsea Formation rests unconformably on the Nestucca Formation, a thin bedded, laminated dark gray tuffaceous mudstone with fine- to coarse-grained, sandstone interbeds (Wells et al., 1994).

The site is located approximately 3 miles south of Neahkahnie Mountain in the Coast Range physiographic province. Approximately 21 miles to the west is the Cascadia Subduction Zone (CSZ), an active plate boundary along which remnants of the Farallon plate (the Gorda, Juan de Fuca, and Explorer plates) are being subducted beneath the western edge of the North American plate. The subduction zone is a broad, eastward-dipping zone of contact between the upper portion of the subducting slabs of the Gorda, Juan de Fuca, and Explorer plates and the over-riding North American plate. The plates move about 1.5 inches per year but can lock in place to increase stress over time. A sudden release of the accumulated energy violently generates an earthquake.

Locally, hillsides around the project site have formed in marine sedimentary rock and include northwest trending normal faults and associated folds. Faults have not been mapped across the site. Quaternary faults are those that have been recognized at the

surface and exhibit measured displacement in the past 1,600,000 years. Information regarding the continuity and potential activity of these faults is lacking, due largely to the scale at which geologic mapping in the area has been conducted and the lack of detailed seismogenic studies. Other faults may be present within the project area, but clear stratigraphic offset and/or geophysical evidence regarding their location and extent is not presently available.

## **4 GEOLOGIC HAZARDS**

### **4.1 Seismicity**

The CSZ is the dominant tectonic feature in western Oregon and various lines of geologic evidence indicate the CSZ has produced megathrust earthquakes (Atwater, et al., 1995). Megathrust earthquakes occur when the fault between the tectonic oceanic plate subducting beneath the continental North American plate suddenly slips. Offshore, subduction causes a deformation zone along the western edge of the accretionary wedge complex, strike-slip faulting in the North America plate, and a zone of folding extending from the coast westward. Onshore, the major tectonic elements associated with the subduction zone include the accretionary wedge complex of the Oregon Coast Range, deformed forearc basin (Willamette Valley), a volcanic arc complex (the Cascade Range), and a backarc region east of the Cascade Mountains.

The area is located in a zone of low historical seismicity, and records of earthquakes felt in the vicinity of the site are limited. There is no historical record of earthquakes of magnitudes greater than magnitude 3.0 within a 50-kilometer (km) radius of the site in the Advanced National Seismic System (ANSS) database.

The three closest Quaternary faults are the CSZ (21 miles west), the Tillamook Bay fault zone (13 miles south), and the Gales Creek Fault zone (20 miles northeast) of the site. The CSZ, a megathrust fault, has the greatest potential maximum moment magnitude ( $M_w$ ) of 8.3-9.2. The maximum  $M_w$  of the other faults likely range from 6.3 to 7.7.

The site has the potential to be subject to experience significant ground motion and shaking during an earthquake.

### **4.2 Soil Liquefaction**

Field and laboratory studies have demonstrated that if saturated, loose to medium-dense sands and some softer, low plasticity, fine-grained soils, such as sandy silts, are subject to cyclic shear stresses of a sufficient magnitude and duration, an increase in pore water pressure can result. As pore water pressure increases, the effective stress in the soil mass below the groundwater level decreases, which results in a corresponding loss of shear strength in the saturated material. The limiting case being if the pore water pressure ratio



approaches 100%, the material will lose most of its shear strength and deform as a viscous fluid (complete liquefaction). The areas at highest risk for liquefaction are the saturated, loose portions of the fills and encountered to depths of about 15 feet and to depths of about 25 feet.

The site is located on loose unconsolidated sands that are likely saturated throughout the year. The site is in an area of high liquefaction potential and the potential for differential ground settlement is high.

Lateral spreading involves lateral displacement of large, surficial blocks of soil as a result of liquefaction of a saturated surface layer and can develop in gentle slopes and move toward a free face, such as a river channel. Displacement occurs in response to the combination of gravitational forces and inertial forces generated by an earthquake. Where a free face exists, the loose saturated fill soils may be susceptible to lateral spreading.

Areas within about 100 feet of the bay may be subject to lateral spreading. The boat ramp, access road, and parking areas have the potential to be damaged from lateral spreading following a significant earthquake.

#### **4.3 Subsidence**

Modeling of megathrust earthquake ruptures on the CSZ indicates sequences of interseismic uplift and coseismic coastal subsidence. The predictions for coastal subsidence are locally constrained by features such as submerged trees and buried intertidal marshes interpreted to be associated with the 1700 CSZ earthquake. The subsidence information indicates the largest coastal subsidence of up to 6 feet occurred in Northern Oregon and Southern Washington.

The site could be subject to coastal subsidence of up to 6 feet (Witter et al. 2011).

#### **4.4 Tsunamis**

The west coast of the United States has historically been subject to minor inundation from tsunamis generated by distant earthquakes in South America, Alaska, and Japan. Observations made around the Indian Ocean following the 2004 megathrust Sumatran earthquake, and the 2011 Tohoku Earthquake in Japan indicate a tsunami generated by a megathrust earthquake on the CSZ will present the greatest tsunami inundation risk at the site. Additionally, local crustal faults rupturing at the ground surface and large landslides into Nehalem Bay, or the Pacific Ocean could generate significant tsunamis.

DOGAMI produced tsunami hazard maps for tsunami generated by a megathrust earthquake on the CSZ (Madin and Burns, 2013) as shown on the Geologic Hazard Map,

Figure 3. The site is located in an area that could be subject to inundation by a tsunami generated by smaller, more frequent earthquakes.

#### **4.5 Landslides**

The type and occurrence of landslides in the vicinity of project was evaluated using information gathered through review of geologic maps and literature, aerial photography, lidar elevation data, and Statewide Landslide Information Database for Oregon (SLIDO). Landslides were identified on the hillslopes above the town of Manzanita and Bayside Garden, Oregon.

Landslide deposits were not identified at the project site and landslides identified in the vicinity do not appear to threaten the site. Landslide susceptibility is moderate to high in areas of the leeward side of sand dunes where slopes are steep.

#### **4.6 Shoreline Erosion and Sea Level Rise**

Coastal erosion occurs when local sea level rise, strong wave action, and coastal flooding break down rocks and carry away sands along the beach bluffs. Waves, currents, tides, and storms are constantly affecting beaches and headlands, causing erosion, landslides, and flooding. Floods occur when low-lying areas such as small dunes, river inlets, and sand spits are filled with water from large amounts of rainfall and higher than normal tides. Sea level has been estimated to continue to increase and is projected to rise by approximately 7.5 feet greater than current sea level by the year 2100.

Beach erosion hazard areas are identified west of the site along the beach face berm. The site is within the Rockaway Littoral cell and studies indicate shoreline change, such as accretion in the northern portion of the cell and erosion from the mouth of Nehalem Bay to the south (Ruggiero 2013).

## **5 SUBSURFACE CONDITIONS**

### **5.1 General**

Subsurface materials and conditions at the site were investigated by GRI between November 9 and 10, 2022 with two geotechnical machine-drilled borings, designated B-1 and B-2, and 11 geotechnical test pits, designated G-TP-1 through G-TP-11. The machine-drilled borings completed for the geotechnical investigation were advanced to a depth of 101 feet. The test pits completed for the geotechnical investigation were excavated to depths between 3.5 feet and 8 feet. The results of the geotechnical investigation can be found in the GRI geotechnical report.

The materials disclosed by the drilled borings include a sandy fill material, fine-grained sand from beach and dune sand deposits, and sandy gravel with cobbles deposited by the Nehalem River.



## **6 CONCLUSIONS AND RECOMMENDATIONS**

### **6.1 General**

Geologic hazards that affect the site include beach, dune, and bluff erosion, earthquakes, and flooding of low-lying areas during major storms and in a tsunami.

### **6.2 Seismicity**

The ground motion and shaking produced at the site from an earthquake have the potential to significantly impact park infrastructure. Damage to site structures following a significant earthquake may consist of differential settlement leading to pavement and sidewalk cracking, damage to underground utilities, and cracking of rigid cement walls of proposed bathroom facilities. Extreme ground shaking may cause buildings to collapse. Based on the subsurface conditions disclosed by borings B-1 and B-2 completed to a maximum depth of about 101 feet below existing site grades, and in accordance with Section 20.4 of ASCE 7-16, the site is classified as Site Class D, or a stiff-soil site, based on the average SPT N-values in upper 100 feet of the soil profile.

Based on fault mapping conducted by the USGS, no crustal faults are present within about 10 miles of the site. Unless occurring on a previously unmapped or unknown fault, the risk of fault rupture at the site is low.

### **6.3 Soil Liquefaction**

After liquefaction is triggered from an earthquake, there is an increased risk of settlement, loss of bearing capacity, and lateral spreading, particularly along waterfront areas. Liquefaction-induced settlement occurs as the elevated pore-water pressures dissipate and the soil consolidates after the earthquake. The site is likely to be subject to liquefaction and the resulting differential settlement during strong ground shaking.

### **6.4 Subsidence**

Ground subsidence at the site has been estimated to be on the order of 6 feet. Ground subsidence may lead to more frequent and damaging flooding of the site during high water events. The site may be subject to ocean wave energy and substantial erosion to foundations of site infrastructure.

### **6.5 Tsunamis**

Wave heights of tsunamis in the Pacific Ocean have reached up to 45 feet above the shoreline near the earthquake source. DOGAMI estimates the site would be submerged by a tsunami following a magnitude 9.0 CSZ earthquake (Madin and Burns, 2013).

### **6.6 Landslides**

Landslide deposits have not been identified on the site. A high to moderate landslide susceptibility has been identified on the leeward face of steep dunes. Currently proposed project design does not appear to be affected by steep slopes or potential landslide areas.

## 6.7 Shoreline Erosion and Sea Level Rise

Sea level rise has the potential to increase erosion and eventually threaten to submerge the site over the next 100 years.

## 7 SUMMARY

Based on the information reviewed as part of this report, and our understanding of the current project design, in our opinion, the proposed improvements are feasible from the standpoint of geologic hazards, and the proposed improvements will not increase geologic hazards to the site or adjacent properties.

## 8 LIMITATIONS

This report has been prepared to aid the project team in the design and permitting of this project. The scope is limited to the specific project and location described herein, and our description of the project represents our understanding of the significant aspects of the project relevant to geologic hazards. In the event any changes in the design and location of the project elements as outlined in this report are planned, we should be given the opportunity to review the changes and modify or reaffirm the conclusions and recommendations of this report in writing.

The conclusions and recommendations in this report are based on the information obtained from the sources discussed in this report. Variations in subsurface conditions exist between exploration locations. This report does not reflect variations that may occur between these explorations. The nature and extent of variation may not become evident until construction. If, during construction, subsurface conditions differ from those encountered in the explorations, we should be advised at once so we can observe and review these conditions and reconsider our recommendations where necessary.



Submitted for GRI,



RENEWS 02-2024

George A. Freitag, CEG  
Principal

Michael S. Marshall, CEG  
Senior Engineering Geologist

This document has been submitted electronically.

## 9 REFERENCES

- Atwater, B.F., Nelson, A.R., Clague, J.J., Carver, G.A., Yamaguchi, D.K., Bobrowsky, P.T., Bourgeois, J., Darienzo, M.E., Grant, W.C., Hemphill-Haley, E., Kelsey, H.M., Jacoby, G.C., Nishenko, S.P., Palmer, S.P., Peterson, C.D., and Reinhart, M.A., 1995, Summary of coastal geologic evidence for past great earthquakes at the Cascadia subduction zone: *Earthquake Spectra*, v. 11, no. 1, p. 1-18.
- Madin, IP, and Burns WJ, 2013, Tsunami Inundation Map for a Simulated Magnitude 9 Cascadia Earthquake, Manzanita, Tillamook County, Oregon. DOGAMI Open File Report O-13-06. Plate 26.
- Peterson, Curt D.; Barnett, Elson T.; Briggs, Greg G.; Carver, Gary A.; Clague, John J.; Darienzo, Mark E.; 1997, Estimates of coastal subsidence from great earthquakes in the Cascadia subduction zone, Vancouver Island, B. C., Washington, Oregon and northernmost California.
- Ruggiero, Peter, Kratzmann, M.G., Himmelstoss, E.A., Reid, David, Allan, John, and Kaminsky, George, 2013, National assessment of shoreline change—Historical shoreline change along the Pacific Northwest coast: U.S. Geological Survey Open-File Report 2012–1007, 62 p
- Wells, R.E., Snively, P.D., MacLeod, N.S., Kelly, M.M., and Parker, M. J. 1994. Geologic map of the Tillamook Highlands, northwest Oregon Coast Range (Tillamook, Nehalem, Enright, Timber, Fairdale, and Blaine 15-minute quadrangles). Open-File Report OF-94-21. 1:62,500.





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 PROJECTS

## VICINITY MAP



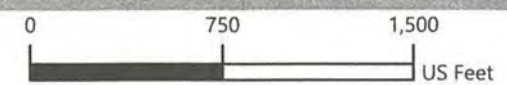




ENTRANCE ROAD

BOAT RAMP

CAMP LOOPS



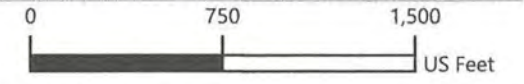
**GRI** PARAMETRIX.  
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### SITE MAP





- Statutory Tsunami Inundation Line
- Very High (Active) Hazard Zone
- High Hazard Zone
- Moderate Hazard Zone
- Low Hazard Zone



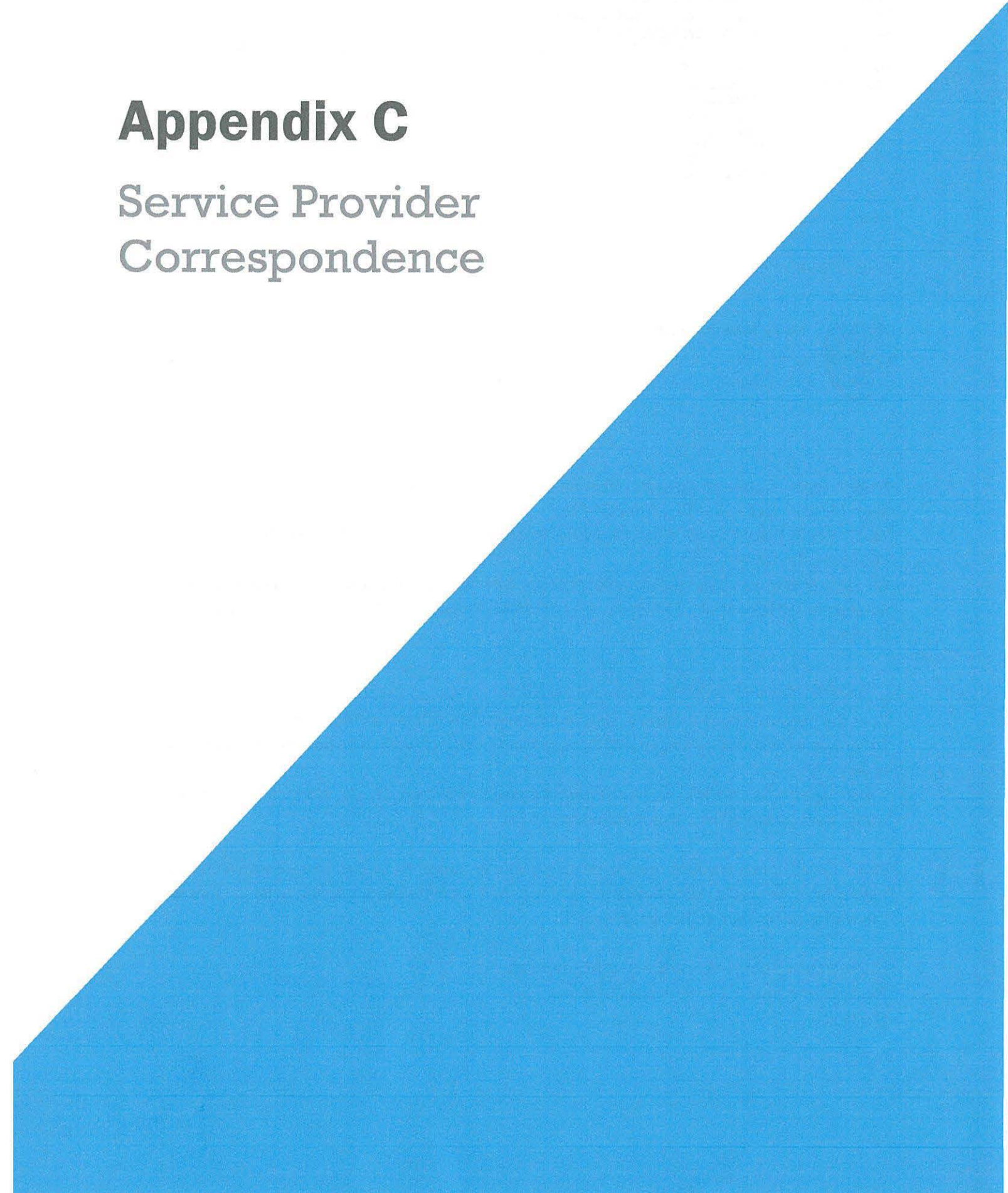
**GRI** PARAMETRIX.  
GO BOND NEHALEM BAY STATE PARK  
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## GEOLOGIC HAZARD MAP



# Appendix C

## Service Provider Correspondence



**From:** [JOHNSON Tracy \\* OPRD](#)  
**To:** [Gregory Cickavage](#); [Cassandra Dobson](#)  
**Cc:** [Jennifer Hughes](#); [Ryan Rudnick](#)  
**Subject:** RE: EXTERNAL: RE: EXTERNAL: RE: EXTERNAL: Nehalem Bay State Park Improvements Discussion  
**Date:** Monday, December 11, 2023 3:04:32 PM  
**Attachments:** [image001.jpg](#)  
[image002.jpg](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[image006.png](#)  
[image007.png](#)

---

Thanks Gregory!

These are very helpful.



**Tracy Johnson, PLA** | Senior Project Manager

OPRD | Central Park Services – Park Improvement, Engineering Division  
971.283.6805

**From:** Gregory Cickavage <[gregory.cickavage@tillamookcounty.gov](mailto:gregory.cickavage@tillamookcounty.gov)>  
**Sent:** Monday, December 11, 2023 2:54 PM  
**To:** JOHNSON Tracy \* OPRD <[Tracy.JOHNSON@opr.oregon.gov](mailto:Tracy.JOHNSON@opr.oregon.gov)>; Cassandra Dobson <[CDobson@parametrix.com](mailto:CDobson@parametrix.com)>  
**Cc:** Jennifer Hughes <[JHughes@parametrix.com](mailto:JHughes@parametrix.com)>; Ryan Rudnick <[RRudnick@parametrix.com](mailto:RRudnick@parametrix.com)>  
**Subject:** RE: EXTERNAL: RE: EXTERNAL: RE: EXTERNAL: Nehalem Bay State Park Improvements Discussion

You don't often get email from [gregory.cickavage@tillamookcounty.gov](mailto:gregory.cickavage@tillamookcounty.gov). [Learn why this is important](#)

Does the park have its own water supply, or do you use City of Manzanita water?

Either way we will require a signed utility permit with sketch of work to be done within County right-of-way.

If working with City, we will require the permit signed by Manzanita Public Works, if it is your own water, then someone from SP is required to sign off.

There should not be anything needed for paving your entrance. If you plan to pave within County right-of-way, we would like to have a non-utility permit submitted with a sketch to let us know where the work is being done in the right-of-way.

I have attached both utility and non-utility applications.

Please let me know if you have any questions.

Thank you.





**Gregory A. Cickavage** | Engineering Technician II  
TILLAMOOK COUNTY | Public Works  
503 Marolf Loop Road  
Tillamook, OR. 97141  
Phone (503) 842-3419  
[gregory.cickavage@tillamookcounty.gov](mailto:gregory.cickavage@tillamookcounty.gov)

**From:** JOHNSON Tracy \* OPRD <[Tracy.JOHNSON@opr.d.oregon.gov](mailto:Tracy.JOHNSON@opr.d.oregon.gov)>  
**Sent:** Monday, December 11, 2023 2:37 PM  
**To:** Gregory Cickavage <[gregory.cickavage@tillamookcounty.gov](mailto:gregory.cickavage@tillamookcounty.gov)>; Cassandra Dobson <[CDobson@parametrix.com](mailto:CDobson@parametrix.com)>  
**Cc:** Jennifer Hughes <[JHughes@parametrix.com](mailto:JHughes@parametrix.com)>; Ryan Rudnick <[RRudnick@parametrix.com](mailto:RRudnick@parametrix.com)>  
**Subject:** EXTERNAL: RE: EXTERNAL: RE: EXTERNAL: Nehalem Bay State Park Improvements Discussion

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Hi Gregory,

There are two projects that may occur in or near the County Right of way.

- The existing Park water main is adjacent to Necarney Boulevard, likely within the right-of-way. We will be completing utility upgrades and are planning to move the water meter closer to the park, and replace the water main because it is old and composed of various pipe materials. This work will likely be all or part in the Necarney ROW.
- We are planning to repave the park road from the entrance at Garey. This may not involve much work other than demolition and repaving the existing park entrance/driveway.

Neither of these projects require land use approval, but we may need ROW permits for the work. The projects we are including in the land use application are all conditional uses that could be added to the park and are entirely within the park boundary: boat ramp renovation, additional boat ramp parking, additional camping loop, new camping cabins, relocated dump station, relocate hiker/biker camp, add tent camping area.

Please let us know if you have any additional questions.

Thanks,



**Tracy Johnson, PLA** | Senior Project Manager

OPRD | Central Park Services – Park Improvement, Engineering Division  
971.283.6805

**From:** Gregory Cickavage <[gregory.cickavage@tillamookcounty.gov](mailto:gregory.cickavage@tillamookcounty.gov)>  
**Sent:** Monday, December 11, 2023 8:44 AM  
**To:** JOHNSON Tracy \* OPRD <[Tracy.JOHNSON@opr.oregon.gov](mailto:Tracy.JOHNSON@opr.oregon.gov)>; Cassandra Dobson <[CDobson@parametrix.com](mailto:CDobson@parametrix.com)>  
**Cc:** Jennifer Hughes <[JHughes@parametrix.com](mailto:JHughes@parametrix.com)>; Ryan Rudnick <[RRudnick@parametrix.com](mailto:RRudnick@parametrix.com)>  
**Subject:** RE: EXTERNAL: RE: EXTERNAL: Nehalem Bay State Park Improvements Discussion

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Are any of the improvements going to be located within County right-of-way?  
It would really help to know where the improvements will be located.



**Gregory A. Cickavage** | Engineering Technician II  
TILLAMOOK COUNTY | Public Works  
503 Marolf Loop Road  
Tillamook, OR. 97141  
Phone (503) 842-3419  
[gregory.cickavage@tillamookcounty.gov](mailto:gregory.cickavage@tillamookcounty.gov)

**From:** JOHNSON Tracy \* OPRD <[Tracy.JOHNSON@opr.oregon.gov](mailto:Tracy.JOHNSON@opr.oregon.gov)>  
**Sent:** Monday, December 11, 2023 8:31 AM  
**To:** Gregory Cickavage <[gregory.cickavage@tillamookcounty.gov](mailto:gregory.cickavage@tillamookcounty.gov)>; Cassandra Dobson <[CDobson@parametrix.com](mailto:CDobson@parametrix.com)>  
**Cc:** Jennifer Hughes <[JHughes@parametrix.com](mailto:JHughes@parametrix.com)>; Ryan Rudnick <[RRudnick@parametrix.com](mailto:RRudnick@parametrix.com)>  
**Subject:** EXTERNAL: RE: EXTERNAL: Nehalem Bay State Park Improvements Discussion

**[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]**

Hi Gregory,

This is kind of a unique request. We are preparing to submit a land use application for a number of improvement projects at the park. We met with Community Development and they suggested we meet with you to confirm that the proposed improvements won't impact County roads serving the park.

Please let us know if this is something that you would like to discuss. If you don't think it's relevant an email response stating such is probably sufficient to provide with our application.

Thanks,





**Tracy Johnson, PLA** | Senior Project Manager

OPRD | Central Park Services – Park Improvement, Engineering Division  
971.283.6805

**From:** Gregory Cickavage <[gregory.cickavage@tillamookcounty.gov](mailto:gregory.cickavage@tillamookcounty.gov)>  
**Sent:** Friday, December 8, 2023 9:57 AM  
**To:** Cassandra Dobson <[CDobson@parametrix.com](mailto:CDobson@parametrix.com)>  
**Cc:** JOHNSON Tracy \* OPRD <[Tracy.JOHNSON@opr.oregon.gov](mailto:Tracy.JOHNSON@opr.oregon.gov)>; Jennifer Hughes <[JHughes@parametrix.com](mailto:JHughes@parametrix.com)>; Ryan Rudnick <[RRudnick@parametrix.com](mailto:RRudnick@parametrix.com)>  
**Subject:** RE: EXTERNAL: Nehalem Bay State Park Improvements Discussion

You don't often get email from [gregory.cickavage@tillamookcounty.gov](mailto:gregory.cickavage@tillamookcounty.gov). [Learn why this is important](#)

It would be helpful to know what and where you are working, if the improvements are not within County right-of-way, this office does not have jurisdiction.

You may have to talk to someone from the Department of Community Development.

Thank you.



**Gregory A. Cickavage** | Engineering Technician II  
TILLAMOOK COUNTY | Public Works  
503 Marolf Loop Road  
Tillamook, OR. 97141  
Phone (503) 842-3419  
[gregory.cickavage@tillamookcounty.gov](mailto:gregory.cickavage@tillamookcounty.gov)

**From:** Cassandra Dobson <[CDobson@parametrix.com](mailto:CDobson@parametrix.com)>  
**Sent:** Monday, December 4, 2023 3:18 PM  
**To:** Gregory Cickavage <[gregory.cickavage@tillamookcounty.gov](mailto:gregory.cickavage@tillamookcounty.gov)>  
**Cc:** JOHNSON Tracy OPRD <[Tracy.JOHNSON@opr.oregon.gov](mailto:Tracy.JOHNSON@opr.oregon.gov)>; Jennifer Hughes <[JHughes@parametrix.com](mailto:JHughes@parametrix.com)>; Ryan Rudnick <[RRudnick@parametrix.com](mailto:RRudnick@parametrix.com)>  
**Subject:** EXTERNAL: Nehalem Bay State Park Improvements Discussion

**[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]**

Good afternoon,

Parametrix is working with the Oregon Parks and Recreation Department on the design and permitting of proposed improvements at Nehalem Bay State Park. We are hoping that we can meet

with you to discuss the proposed improvements and any potential effects on Tillamook County facilities that serve the State Park.

Would you be the best person to meet with from Public Works for this discussion? If so, would you be available to meet for a call during any of the following times next week?

Monday, December 11:

- 1pm – 4pm

Tuesday, December 12:

- 3pm – 5pm

Thursday, December 14:

- 10am – 1pm

Thank you, we appreciate your time and assistance!

Cass

# Parametrix

**Cassandra Dobson**

*she/her*

Planner III

[971-369-9520](tel:971-369-9520) | direct





From: [VYMAZAL Zdenek G](#)  
 To: [Cassandra Dobson](#)  
 Subject: RE: Nehalem Bay State Park Improvements ITE Codes  
 Date: Thursday, January 11, 2024 11:01:15 AM  
 Attachments: [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[image006.png](#)

Hello Cassandra,

After reviewing the new data for the proposed development (See attachment snipp), the number of peak trips will not increase to reach fifty (50) trips or more and average daily trip will not increase by five hundred (500) trips or more from the property's prior use as stated in OAR Ch734, Div51 (734-051-3020). It will not require the Change of Use and such you do not need a traffic study for this proposed development. However, because the proposed development will use local streets/ roads and is not connected directly to state highway, it is recommended to work with City of Manzanita (County?) on this and include them with you scoping/development work early.

Thank you  
 Z

Zdenek "Z" Vymazal, PE, PLS  
 Development Review Coordinator (Area 1)  
 ODOT – Region 2  
 455 Airport Rd. SE, Bldg. B  
 Salem, OR 97301  
 (971)-345-1318 Cell/Office  
[zdenek.g.vymazal@odot.oregon.gov](mailto:zdenek.g.vymazal@odot.oregon.gov)  
 Hours: 5:30 AM to 2:00 PM Monday – Friday

ITE Code	Land Use Description	Independent Variable	No. of Units	Avg Rate of Eq	Rates		Total Trips					In/Out Trips									
					Weekday		Weekend		Weekday		Weekend			Weekday		Weekend					
					Daily Rate	AM Peak Rate	PM Peak Rate	Daily Rate	Peak Rate	Daily Trips	AM Peak Trips	PM Peak Trips	Daily Trips	Peak Trips	AM Trips In	AM Trips Out	PM Trips In	PM Trips Out	Peak Trips In	Peak Trips Out	
416	Campground/RV Park	Acres(s)	21	Avg		0.48	0.98			10	21			4	6	14	7				
420	Marina	Berths(s)	32	Avg	2.41	0.07	0.21	2.51	0.22	78	2	7	84	7	1	4	3	3	4		
411	Public Park	Acres(s)	56	Avg	0.78	0.02	0.11	1.96	0.28	76	2	11	190	27	1	1	6	5	15	12	
<b>Existing Use Totals</b>										154	14	39	274	34	6	8	24	15	18	16	
<b>Proposed Use Totals</b>																					

CHANGE OF USE EVALUATION

From: VYMAZAL Zdenek G  
 Sent: Tuesday, January 2, 2024 2:06 PM  
 To: Cassandra Dobson <[CDobson@parametrix.com](mailto:CDobson@parametrix.com)>  
 Subject: RE: Nehalem Bay State Park Improvements ITE Codes

Happy New Year to you Casandra too.  
 Thank you

I and traffic people will look at your info and replay as soon as possible.  
 Z

Zdenek "Z" Vymazal, PE, PLS  
 Development Review Coordinator (Area 1)  
 ODOT – Region 2  
 455 Airport Rd. SE, Bldg. B  
 Salem, OR 97301  
 (971)-345-1318 Cell/Office  
[zdenek.g.vymazal@odot.oregon.gov](mailto:zdenek.g.vymazal@odot.oregon.gov)  
 Hours: 5:30 AM to 2:00 PM Monday – Friday

From: Cassandra Dobson <[CDobson@parametrix.com](mailto:CDobson@parametrix.com)>  
 Sent: Tuesday, January 2, 2024 8:36 AM  
 To: VYMAZAL Zdenek G <[Zdenek.G.VYMAZAL@odot.oregon.gov](mailto:Zdenek.G.VYMAZAL@odot.oregon.gov)>  
 Cc: JOHNSON Tracy \* DPRD <[Tracy.JOHNSON@odot.oregon.gov](mailto:Tracy.JOHNSON@odot.oregon.gov)>; Jennifer Hughes <[JHughes@parametrix.com](mailto:JHughes@parametrix.com)>; Ryan Rudnick <[RRudnick@parametrix.com](mailto:RRudnick@parametrix.com)>  
 Subject: Nehalem Bay State Park Improvements ITE Codes

You don't often get email from [cdobson@parametrix.com](mailto:cdobson@parametrix.com).  
 This message was sent from outside the organization. Treat attachments, links and requests with caution. Be conscious of the information you share if you respond.  
 Good morning Z, and Happy New Year!

Thank you again for taking the time to meet with us to discuss improvements to Nehalem Bay State Park. As discussed at that meeting, our team has looked into the ITE codes that we feel would best fit the proposed improvements. We would recommend use of the following ITE land use codes in peak hour trip generation calculations for the proposed park uses:

- **Campground/RV park (416)** for the proposed cabins and campsites, and trip generation based on either occupied campsites or acres
  - 68 occupied campsites (excluding 8 new hiker/biker sites, as there are inherently no vehicle trips associated with these campsites)
    - 6 new staff cabins (already permitted)
    - Up to 10 new cabins at cabin loop
    - Up to 12 new park & walk-in tent sites
    - Up to 40 new cabins/sites in future loop

- 21 acres new campground development
  - New camping/cabin loop +15 acres
  - New hiker/biker/tent +5 acres
  - Old hiker biker -1.5 acres
  - Alternate cabins +2 acres
  - Staff cabins +0.5 acres

21 acres new campground development

- **Marina (420) or Public Park (411)** for the 32 new boat ramp parking spaces proposed.
  - If using Marina (420) – 32 "berths" to represent the 32 boat trailer parking spaces
  - If using Public Park (411) – 96 "daily trail users", conservatively assuming an average of 3 boat ramp users for each of the 32 new parking spaces

Please let us know if you have any questions or would like to discuss further. Thank you again!

Cass

**ParametriX**

**Cassandra Dobson**

she/her

Planner III

971-369-9520 | direct







Nehalem Bay Wastewater Agency  
SEWER AVAILABILITY

---

Date: December 15, 2022  
To: Tillamook County Building Department (Fax#503-842-1819)  
  
From: Nehalem Bay Wastewater Agency  
RE: Sewer Availability

As an Agent of Nehalem Bay Wastewater Agency, I confirm that sewer is available to the following lot within our service area boundary:

3N 10 32 TL200

Nehalem Bay State Park

Owner of Record: Oregon State Parks and Recreation  
Project Information: Renovation & Expansion of Campground

This letter shall not create a liability on the part of Nehalem Bay Wastewater Agency, or by an agent, or employee thereof, for the services described above.

Keri Scott, Executive Assistant  
Nehalem Bay Wastewater Agency

# **EXHIBIT B**

-

**ADDITIONAL INFORMATION**

**RECEIVED JULY 3, 2024**



## Melissa Jenck

---

**From:** JOHNSON Tracy \* OPRD <tracy.johnson@opr.oregon.gov>  
**Sent:** Wednesday, July 3, 2024 10:07 AM  
**To:** Melissa Jenck; Cassandra Dobson  
**Subject:** EXTERNAL: RE: EXTERNAL: RE: 851-24-000192-PLNG: Notice of Public Hearing  
**Attachments:** NBFR Development Letter 2023.docx

**[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]**

Hi Melissa,

We looked into this and found that there is an error in our narrative. The excerpt below is referencing a letter from NBFRD pertaining to the staff housing project. While the statement is true that we received a letter for that project, the project does not pertain to the projects in the land use application. The missing letter is attached, but probably isn't relevant to the current CUMP application.

Fire Protection: Nehalem Bay Fire & Rescue District

The design and construction of proposed structures and their access roads would be subject to and would satisfy the fire protection requirements of the Nehalem Bay Fire & Rescue District.

OPRD contacted Frank Knight, Captain at Nehalem Bay Fire & Rescue. He provided a letter confirming compliance for the [staff housing improvements](#). Please see the attached correspondence in Appendix C.

As I mentioned on the phone yesterday, we also corresponded with Frank last summer regarding fire protection needs for the cabin loop. He offered to provide us a letter, but we failed to follow up on it at that time (the land use application seemed a long way off at that point). We have reached out to him this week to obtain that letter now, and he has requested to have a meeting to remind him of the proposed work. That meeting won't occur until next week due to the holiday weekend. We will add the letter to the record at the hearing if we have it by that time.

Sorry for the confusion on this.

Thanks,



**Tracy Johnson, PLA** | Senior Project Manager

OPRD | Central Park Services – Park Improvement, Engineering Division  
971.283.6805

**From:** Melissa Jenck <Melissa.Jenck@tillamookcounty.gov>  
**Sent:** Friday, June 14, 2024 9:29 AM  
**To:** JOHNSON Tracy \* OPRD <tracy.johnson@opr.oregon.gov>; Cassandra Dobson <CDobson@parametrix.com>  
**Subject:** FW: EXTERNAL: RE: 851-24-000192-PLNG: Notice of Public Hearing

You don't often get email from [melissa.jenck@tillamookcounty.gov](mailto:melissa.jenck@tillamookcounty.gov). [Learn why this is important](#)

Good morning Tracy and Cassandra,

Comments have been received by Nehalem Fire. They note that your findings detail correspondence between OPRD and Nehalem Fire, but recognize that it does not appear included in the materials supplied to Tillamook County, or in Appendix C as identified in your summary.

Is this documentation something you are interested in supplying, or was that an error in the narrative to state there was additional materials to provide on behalf of Nehalem Fire?

If myself, and Ms. Coyle, have missed it's location within the documents, please let me know. I'm also not seeing it within the materials.

Sincerely,

\*\*\* Please note that the Tillamook County domain has changed, and my email address is now [Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov) Please update your contact information as needed. Thank you. \*\*\*



**Melissa Jenck** (she/her) | Senior Planner  
TILLAMOOK COUNTY | Community Development  
1510-B Third Street  
Tillamook, OR 97141  
Phone (503) 842-3408 x 3301  
[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)

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**From:** Kristen Coyle <[k.coyle@nbfrd.org](mailto:k.coyle@nbfrd.org)>  
**Sent:** Friday, June 14, 2024 9:00 AM  
**To:** Melissa Jenck <[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)>  
**Subject:** EXTERNAL: RE: 851-24-000192-PLNG: Notice of Public Hearing

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Hi Melissa. FYI, page 48 of the 82-page document references a letter from our agency and notes it is part of Exhibit C; however, it is not included in the Exhibit. Perhaps this was overlooked.

Thanks,  
Kristen

Kristen Coyle



Executive Assistant / AEMT  
Nehalem Bay Fire & Rescue District  
36375 Hwy 101 N  
Nehalem, OR 97131  
503-368-7590  
503-368-7580 fax  
[K.Coyle@nbfrd.org](mailto:K.Coyle@nbfrd.org)

<https://nehalembayfirerescue.org>

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**From:** Melissa Jenck <[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)>  
**Sent:** Thursday, June 13, 2024 6:13 PM  
**To:** Melissa Jenck <[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)>  
**Cc:** Lynn Tone <[Lynn.Tone@tillamookcounty.gov](mailto:Lynn.Tone@tillamookcounty.gov)>; Sarah Absher <[Sarah.Absher@tillamookcounty.gov](mailto:Sarah.Absher@tillamookcounty.gov)>  
**Subject:** 851-24-000192-PLNG: Notice of Public Hearing

Good evening,

Please see the Notice of Public Hearing for #851-4-000192-PLNG for Oregon Parks and Recreation Department's proposal for a Conditional Use Master Plan update to Nehalem Bay State Park. The hearing is scheduled for 7:00pm on July 11, 2024. Information for virtual links to the meeting can be found on the Community Development Homepage.

You can visit the link below, for access to the notice and application materials.

<https://www.tillamookcounty.gov/commdev/project/851-24-000192-plng>

Sincerely,

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**TILLAMOOK COUNTY** | Community Development  
1510-B Third Street  
Tillamook, OR 97141  
Phone (503) 842-3408 x 3301  
[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)

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# Nehalem Bay Fire & Rescue District

36375 Hwy 101 N.  
Nehalem, OR 97131  
(503) 368-7590 Bus.  
(503) 368-7580 Fax  
[www.nehalembyfirerescue.org](http://www.nehalembyfirerescue.org)

---

1/30/2023  
Tracy Johnson  
Senior Project Manager  
OPRD  
[Tracy.JOHNSON@opr.oregon.gov](mailto:Tracy.JOHNSON@opr.oregon.gov)

Re: Nehalem Bay State Park Staff Housing Project

The housing project proposed by OPRD complies with the Tillamook County Fire Defense Road Access Guidelines. Please contact me if any changes to road access or water supply sources are anticipated.

Respectfully,

**Frank E. Knight III**  
Captain/Fire Prevention  
Nehalem Bay Fire & Rescue  
[f.knight@nbfrd.org](mailto:f.knight@nbfrd.org)

**EXHIBIT**

**C**



## Melissa Jenck

---

**From:** Brian Olle  
**Sent:** Monday, July 1, 2024 5:11 PM  
**To:** Melissa Jenck  
**Subject:** RE: 851-24-000192-PLNG: Notice of Public Hearing

Hi Melissa,

My apologies for not getting back. I think my initial thought was this did not directly affect Public Works and likely didn't warrant any improvements so I didn't respond. After discussing with Chris he agrees, at this time Public Works has no comments or requirements at this time.

I'll be sure to respond going forward, even if that is a "no comment/requirements".

**Brian Olle, P.E.** | Engineering Project Manager  
TILLAMOOK COUNTY | Public Works  
Cell: (503)812-6569

**From:** Melissa Jenck <Melissa.Jenck@tillamookcounty.gov>  
**Sent:** Monday, July 1, 2024 2:14 PM  
**To:** Brian Olle <brian.olle@tillamookcounty.gov>  
**Subject:** FW: 851-24-000192-PLNG: Notice of Public Hearing

Good afternoon Brian,

Just wanted to get your comments on this application (see original email below). It's understood that Garey Street serves as the access into Nehalem Bay State Park, which is existing and improved.

The Applicants (OPRD) is proposing updates to the park, which includes expansions to the number of visitor accommodations provided in the park.

Staff wanted to confirm if County Parks has any concerns or requirements to the County Road which will be required as part of this request. I'm preparing the Staff report to go out Wednesday so if you have comments.

\*\*\* Please note that the Tillamook County domain has changed, and my email address is now [Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov) Please update your contact information as needed. Thank you. \*\*\*



**Melissa Jenck** (she/her) | Senior Planner  
TILLAMOOK COUNTY | Community Development  
1510-B Third Street  
Tillamook, OR 97141  
Phone (503) 842-3408 x 3301  
[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)

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**From:** Melissa Jenck  
**Sent:** Thursday, June 13, 2024 6:13 PM  
**To:** Melissa Jenck <[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)>  
**Cc:** Lynn Tone <[Lynn.Tone@tillamookcounty.gov](mailto:Lynn.Tone@tillamookcounty.gov)>; Sarah Absher <[Sarah.Absher@tillamookcounty.gov](mailto:Sarah.Absher@tillamookcounty.gov)>  
**Subject:** 851-24-000192-PLNG: Notice of Public Hearing

Good evening,

Please see the Notice of Public Hearing for #851-4-000192-PLNG for Oregon Parks and Recreation Department's proposal for a Conditional Use Master Plan update to Nehalem Bay State Park. The hearing is scheduled for 7:00pm on July 11, 2024. Information for virtual links to the meeting can be found on the Community Development Homepage.

You can visit the link below, for access to the notice and application materials.

<https://www.tillamookcounty.gov/commdev/project/851-24-000192-plng>

Sincerely,

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## Melissa Jenck

---

**From:** Frank Knight <f.knight@nbfrd.org>  
**Sent:** Monday, July 1, 2024 3:03 PM  
**To:** Melissa Jenck; Kristen Coyle  
**Subject:** EXTERNAL: RE: EXTERNAL: RE: EXTERNAL: RE: 851-24-000192-PLNG: Notice of Public Hearing

**[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]**

Melissa,

No official comments from us. The build letter stands as issued originally.

### Frank E. Knight III

Fire Chief  
Nehalem Bay Fire & Rescue  
36375 HWY 101 N  
Nehalem, OR 97131  
[f.knight@nbfrd.org](mailto:f.knight@nbfrd.org)  
Office 503-368-7590  
Fax 503-368-7580  
<https://nehalembayfirerescue.org/>



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**From:** Melissa Jenck <Melissa.Jenck@tillamookcounty.gov>  
**Sent:** Monday, July 1, 2024 2:08 PM  
**To:** Kristen Coyle <k.coyle@nbfrd.org>; Frank Knight <f.knight@nbfrd.org>  
**Subject:** RE: EXTERNAL: RE: EXTERNAL: RE: 851-24-000192-PLNG: Notice of Public Hearing

Good afternoon,

I wanted to confirm if you had comments on the record you'd like to prepare, or if you wanted to provide a copy of the Fire Districts original documentation provided to OPRD.

Sincerely,

\*\*\* Please note that the Tillamook County domain has changed, and my email address is now [Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)  
Please update your contact information as needed. Thank you. \*\*\*



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**From:** Kristen Coyle <[k.coyle@nbfrd.org](mailto:k.coyle@nbfrd.org)>  
**Sent:** Friday, June 14, 2024 10:01 AM  
**To:** Melissa Jenck <[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)>; Frank Knight <[f.knight@nbfrd.org](mailto:f.knight@nbfrd.org)>  
**Subject:** EXTERNAL: RE: EXTERNAL: RE: 851-24-000192-PLNG: Notice of Public Hearing

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Hi Melissa. I am copying our fire chief, Frank Knight, on this correspondence, as he is the one to make comments on the proposal.

Chief Knight, I just want to ensure we have a copy of the letter that the Applicant refers to on page 48.

Thanks,  
Kristen

**From:** Melissa Jenck <[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)>  
**Sent:** Friday, June 14, 2024 9:26 AM  
**To:** Kristen Coyle <[k.coyle@nbfrd.org](mailto:k.coyle@nbfrd.org)>  
**Subject:** RE: EXTERNAL: RE: 851-24-000192-PLNG: Notice of Public Hearing

Kristen,

Thank you for the observation. I've reviewed the materials the Applicant supplied to Tillamook County and I also do not see they supplied this letter.



I'm happy to forward your comment onto them. Does Nehalem Fire otherwise have comments on the proposal, outside those provided to them previously (as they identified)? If you have a copy of the correspondence provided to OPRD, if you are at privilege to provide a copy, you are welcome to submit.

Sincerely,

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**Sent:** Friday, June 14, 2024 9:00 AM  
**To:** Melissa Jenck <[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)>  
**Subject:** EXTERNAL: RE: 851-24-000192-PLNG: Notice of Public Hearing

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Hi Melissa. FYI, page 48 of the 82-page document references a letter from our agency and notes it is part of Exhibit C; however, it is not included in the Exhibit. Perhaps this was overlooked.

Thanks,  
Kristen

*Kristen Coyle*  
Executive Assistant / AEMT  
Nehalem Bay Fire & Rescue District  
36375 Hwy 101 N  
Nehalem, OR 97131  
503-368-7590  
503-368-7580 fax

[K.Coyle@nbfrd.org](mailto:K.Coyle@nbfrd.org)

<https://nehalembyfirerescue.org>

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**Sent:** Thursday, June 13, 2024 6:13 PM  
**To:** Melissa Jenck <[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)>  
**Cc:** Lynn Tone <[Lynn.Tone@tillamookcounty.gov](mailto:Lynn.Tone@tillamookcounty.gov)>; Sarah Absher <[Sarah.Absher@tillamookcounty.gov](mailto:Sarah.Absher@tillamookcounty.gov)>  
**Subject:** 851-24-000192-PLNG: Notice of Public Hearing

Good evening,

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Tillamook, OR 97141  
Phone (503) 842-3408 x 3301  
[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)

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TESTIMONY TO TILLAMOOK COUNTY PLANNING COMMISSION

Submitted July 2, 2024

By Regina Dehen, representing the Manzanita/Nehalem Community

12:53 PM

Thank you for the opportunity to testify on behalf of residents of the Manzanita and Nehalem Communities regarding the Tillamook County Conditional Use Master Plan Application #851-24-000192-PLNG. Specifically, we wish to express our concerns regarding the proposed use of Necarney City Road/Garey Road as the main access route to the park.

In preparing for this testimony, we reviewed the following documents:

- Nehalem Bay State Park Master Plan 2009
- Tillamook County Conditional Use Master Plan Application Prepared for Oregon Parks and Recreation Department April 2024 by Parametrix
- Nehalem Bay Transportation System Plan Winter 2022 Online Open House Summary
- Nehalem Bay Transportation System Plan July 2023 Volume 1 | TSP Overview & Regional Plans
- Nehalem Bay Transportation System Plan July 2023 Volume 2 | Manzanita
- Nehalem Bay Transportation System Plan July 2023 Volume 3 | Nehalem

We understand that testimony must address Tillamook County Land Use Ordinance Section 6.040, which are REVIEW CRITERIA. We are addressing Section 6.040 of the REVIEW CRITERIA, which state:

“The proposed use is consistent with the applicable goals and policies of the Comprehensive Plan.” And, “the proposed use will not alter the character of the surrounding area in a manner which substantially *limits, impairs or prevents the use of surrounding properties* for the permitted uses listed in the underlying zone.”

We feel the proposed use of Necarney City Road/Garey Road in its current condition as the main access to the Park violates both of these review criteria for the following reasons:

In the Application under review, Parametrix states, “The proposed improvements to Nehalem Bay State Park would not alter the existing character of the site, which currently operates as a recreation area attracting day use visitors and campers. The use of surrounding properties for permitted uses would not be limited, impaired, or prevented by the development of the proposed park improvements because changes to the surrounding area outside of the park are not proposed or required. *There is minimal expected traffic impact from the proposed improvements over time, and no increase in noise, off-site light/glare, or other emissions are expected that could affect the surrounding area.*”

We, the residents of the surrounding properties, and the signers of the Petition (attached) strongly disagree with the contractor’s statement that, “*There is minimal expected traffic*

We are in agreement with Mr. Vymazal's statement in his email that, "because the proposed development will use local streets/ roads and is not connected directly to state highway, it is recommended to work with City of Manzanita (County?) on this and Include them with you scopping/dcvelopment [sic] work early."

In conclusion, we, the petitioners from the Manzanita and Nehalem Communities, wish to express our unified concern that Necarney City Road/Garey Road as it currently exists is inadequate to the tasks it is currently performing, so it cannot sustain the increase in traffic that will occur after the park is upgraded and expanded. To use it for this purpose violates Section 6.040 of Tillamook County Land Use Ordinance, being inconsistent with the Comprehensive Nehalem Bay Transportation System Plan, as well as altering the character of the surrounding area by impairing the safety of pedestrians, bicyclists and park goers.

Based on this information, we feel it is logical to request that the commission use its power as specified in Tillamook County Land Use Ordinance SECTION 6.070. This section is CONDITIONS OF APPROVAL. These state that:

"...any conditions which are considered necessary to protect the area surrounding the proposed use, and to preserve the basic purpose and intent of the underlying zone, may be imposed. These may include, but are not limited to, the following:

**(7) Controlling the location and number of vehicle access points.**

Limiting the number, size and location of signs.

**Requiring diking, fencing, screening, landscaping, or other measures to protect adjacent or nearby properties from the effects of the use."**

We respectfully request that as a way of addressing Section 6.070(7), to "**protect adjacent or nearby properties from the effects of the use**" of the Park that the Development Commission imposes:

- Solar-powered radar speed signs on Necarney City Road and Garey Road, especially near the Park;
- a timely traffic assessment of Necarney City Road/Garey Road where it meets the Park; and
- that the recommendations of the Transportation System Plan of Nehalem (Volumes 2 and 3, adopted 1/12/24) regarding pedestrian and bicycle lanes connecting Necarney City Road to the Park be incorporated into the current Park Upgrades.

Thank you for your attention to this pressing safety matter and for all you do for our community.





Regina, you have helped **2 petitions** gain momentum. Your impact is just getting started. ✕  
Contribute today to support turning your signature into a victory.

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Petition Strength

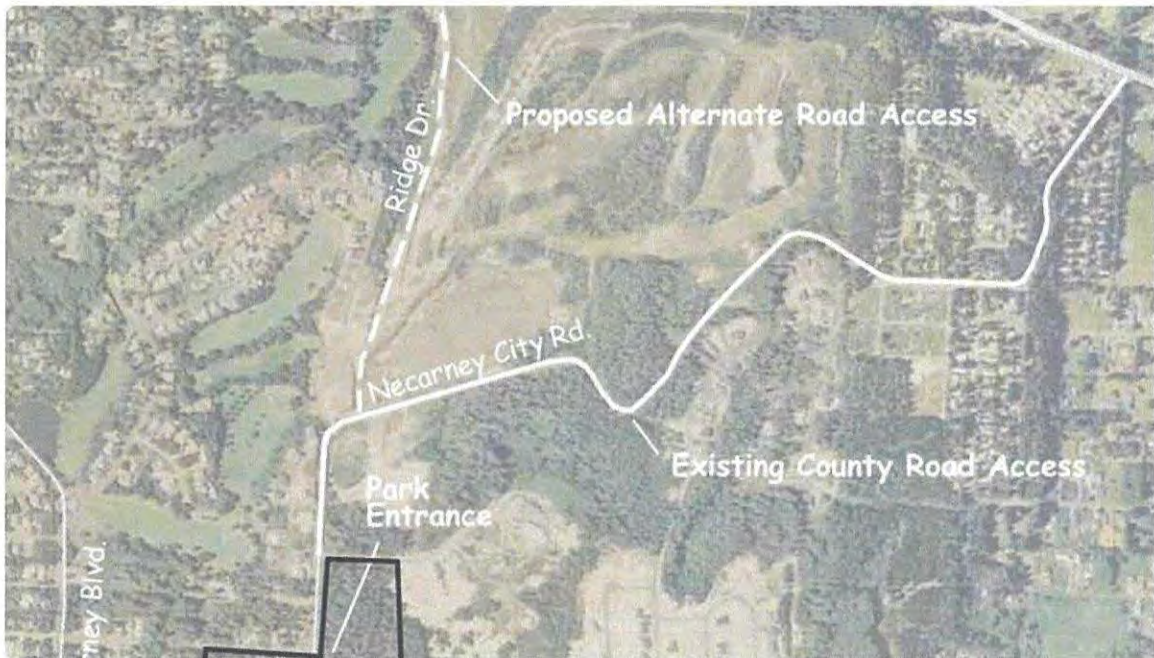


Good

Write a longer description

Add a personal story, as well as relevant facts and statistics.

[Edit description](#)



## Perform Traffic Assessment and Reduce Campsite Expansion at Nehalem Bay State Park

Started  
Petition to

June 16, 2024  
Nehalem State Park Management and [1 other](#)

112

Signatures

200

Next Goal

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### Why this petition matters



Started by [Regina Dehen](#)

[Media Inquiries](#)

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## Updates

Keep your supporters engaged with a news update. Every update you post will be sent as a separate email to signers of your petition.

[Post an update](#)

### UPDATE: Initial Response from OPRD about Nehalem Bay State Park Renovation

28 June 2024 Jenna Marmon, Planning and Design Lead for Oregon Parks and Recreation Department reached out this week in response to our petition. She wanted to clarify that the Tillamook County Conditional Use Master Plan Application 2024 (see link below) is the document that will guide coming revisions to Nehalem Bay State Park, NOT the previously approved Nehalem Bay State Park Master Plan. She expressed that the upcoming revisions to the Park are...



**Regina Dehen**  
3 days ago

50 supporters

2 weeks ago

Regina Dehen started this petition

2 weeks ago

## Reasons for signing



I'm signing because...



**Lydia Hess** · 2 weeks ago

I am concerned not only for the direct traffic on Necarney City Road, but also on the Tillamook county section of Hwy 101. And the added stress on the emergency services for an area that is directly in the Tsunami path. As well as other natural disasters that may effect the park. The Nehalem State Park has natural areas that need protecting.... [Read more](#)

♡ 1 · Report

Support now

I'm signing this petition because Regina is spot on with the increase in traffic Between the the Traffic going into Nehalem Bay State Park and the transfer station, Necarney city road (Garry Street ) has become a major highway. There are 50-70 foot long vehicles going into the ... [Read more](#)

♡ 1 · Report

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petition\_signatures\_jobs\_490103191\_20240701205207

Name	City	State	Postal Code	Country	Signed On
<b>Regina Dehen</b>	Portland	OR		US	2024-06-16
<b>Finn Dehen</b>	Tillamook	OR	97141	US	2024-06-16
<b>Chris Langford</b>	Portland	OR	97206	US	2024-06-16
<b>Daniel Dehen</b>	Salem	OR	97302	US	2024-06-16
<b>Michael Dehen</b>	Portland	OR	97206	US	2024-06-16
<b>Patricia Dehen</b>	Tillamook	OR	97141	US	2024-06-16
<b>Karin Ferguson</b>	Canby	OR	97013	US	2024-06-17
<b>Benjamin Sherman</b>	Tillamook	OR	97141	US	2024-06-17
<b>Jett Keyser</b>	Tillamook	OR	97141	US	2024-06-17
<b>Angela Bennett</b>	Manzanita	OR	97141	US	2024-06-17
<b>Jan Riegler</b>	Manzanita	OR	97130	US	2024-06-17
<b>Paul Riegler</b>	Tillamook	OR	97130	US	2024-06-17
<b>Lydia Hess</b>	Tillamook	OR	97141	US	2024-06-17
<b>Robert McClaran</b>	Tillamook	OR	97141	US	2024-06-17
<b>Susan Backman</b>	Colorado Springs	CO	80904	US	2024-06-17
<b>Hope Stanton</b>	Portland	OR	97223	US	2024-06-17
<b>Debra Lee</b>	Rockaway Beach	OR		US	2024-06-18
<b>Janice Laviolette</b>	Nehalem	OR	97131	US	2024-06-18
<b>Coren Tradd</b>	Nehalem	OR	97131	US	2024-06-18
<b>Jean DeLuca</b>	Manzanita	OR	97130	US	2024-06-18
<b>Texanna Fernandez</b>	Waverly		26101	US	2024-06-18
<b>Netra Saravanabalaji</b>	St Louis	MO	63132	US	2024-06-18
<b>Christopher Duke</b>	Nehalem	OR	97131	US	2024-06-18
<b>Katie Mefford</b>	Indianapolis	IN	46260	US	2024-06-18
<b>John Morris</b>	Nehalem	OR		US	2024-06-18
<b>Kasey Schuermyer</b>	Manzanita	OR	97130	US	2024-06-18
<b>Ally LeCaux</b>	Florence	OR	97439	US	2024-06-18
<b>Jean Shirkoff</b>	Beaverton	OR	97006	US	2024-06-18
<b>Bob DeLuca</b>	Tillamook	OR	97141	US	2024-06-18

<b>Jon Barnard</b>	Nehalem	OR	97131	US	2024-06-20
<b>Leonard Ostrow</b>	Tillamook	OR	97141	US	2024-06-20
<b>Kathryn Ostrow</b>	Manzanita	OR	97130	US	2024-06-20
<b>Fran Handegard</b>	Tillamook	OR	97141	US	2024-06-20
<b>Elisabeth Watness</b>	Nehalem	OR	97131	US	2024-06-20
<b>Chris Wilson</b>	Tillamook	OR	97141	US	2024-06-20
<b>Cheryl Lund</b>	Tillamook	OR	97141	US	2024-06-21
<b>Cheryl St. Pierre</b>	Tillamook	OR	97130	US	2024-06-21
<b>Beverly Hallberg</b>	Manzanita	OR	97130	US	2024-06-21
<b>Christina Irvine</b>	Tillamook	OR	97141	US	2024-06-21
<b>Stephen Jackson-Clay</b>	Manzanita	OR	97130	US	2024-06-21
<b>Frank Scotto</b>	Beaverton	OR	997229	US	2024-06-21
<b>Carol Hart</b>	Manzanita	CA	97130	US	2024-06-22
<b>Gregg Levine</b>	Astoria	NY	11102	US	2024-06-22
<b>Craig Andes</b>	Rockaway Beach	OR	97136	US	2024-06-22
<b>Rose Myers</b>	Longview	WA	98632	US	2024-06-22
<b>Karen Trumper</b>	Tillamook	OR	97141	US	2024-06-22
<b>Joshua Huber</b>	Beaverton	OR	97078	US	2024-06-22
<b>Haley Handegard</b>	Tillamook	OR	97141	US	2024-06-22
<b>Tia Newman</b>	Tillamook	OR	97141	US	2024-06-22
<b>Gary Andes</b>	Nehalem	OR	97131	US	2024-06-22
<b>Nick singer</b>	Vancouver	WA	98661	US	2024-06-23
<b>Janelle Baron</b>	Nehalem	OR	97131	US	2024-06-23
<b>Joe Dressman</b>	Manzanita	OR	97130	US	2024-06-24
<b>Kristi Foster</b>				US	2024-06-27
<b>Uwe Vietzke</b>				Germany	2024-06-29
<b>Bambi Mayr</b>				Austria	2024-06-29
<b>Barry Baudains</b>	Saint Helier			Jersey	2024-06-29
<b>Dominique Antoniazza</b>	Angers		49100	France	2024-06-29
<b>Hanneke Mol</b>	Poortvliet	NE	4693EG	US	2024-06-29
<b>Brian Hardebeck</b>	Manzanita	OR	97131	US	2024-06-29
<b>Natalie Bailey</b>	Manchester	AL	45789	US	2024-06-29



Name	City	State	Postal Code	Country	Commented
Paul Riegler	Houston	TX	77068	US	6/17/24

Lydia Hess	Tillamook	OR	97141	US	6/17/24
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Janice Laviolette	Nehalem	OR	97131	US	6/18/24
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John Morris	Nehalem	OR		US	6/18/24
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Gail Barnard	Lake Oswego	OR	97034	US	6/20/24
Kristi Foster				US	6/27/24

Brian Hardebeck	Manzanita	OR	97131	US	6/29/24
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#### Comment

"I'm signing this petition because Regina is spot on with the increase in traffic between the the Traffic going into Nehalem Bay State Park and the transfer station, Necarney city road (Garry Street ) has become a major highway. There are 50-70 foot long vehicles going into the Park, usually exceeding the 35 mph speed limit. People are riding and hiking out of the park , which has no shoulder. The amount of traffic has dramatically increased in the 10 years I have lived on Necarney Road The speed limit is way too high. Someone is going to get hurt. The volume of people using the transfer station has also dramatically increased but the road is still in the same condition. I feel like I live on a highway, not in Manzanita where the speed limits are 20-25 mph. Garbage is routinely dumped Near the entrance to the transfer station and also into the state park along Necarney road. It's crazy to have so many people using the transfer station and Park on the same road! It's not fair to the residents who have lived here for years to now live on a highway and hear horns blaring and watching A huge increase in both pedestrian and vehicle traffic Without any input"

"I am concerned not only for the direct traffic on Necarney City Road, but also on the Tillamook county section of Hwy 101. And the added stress on the emergency services for an area that is directly in the Tsunami path. As well as other natural disasters that may effect the park. The Nehalem State Park has natural areas that need protecting. more than doubling the capacity would put an increased strain not only on water and sewer infrastructure for humans but also on the delicate flora and fauna of the sand dunes and wildlife that live and nest in that protected area."

"Our infrastructure and support network is already at max capacity in the peak months of July and August....for the health and safety of residents and visitors alike, we need to be mindful of these issues ."

"Oregon State Parks has a responsibility to local residents before undertaking projects that harm the adjoining communities. The proposed expansion of services at Nehalem Bay State Park is far out of proportion to what our town(s) and neighborhoods can support and maintain the quality of life we enjoy. This expansion is at least twice the size that's sustainable for a livable community."

"Traffic, smoke from campsites, noise from planes"

"Part of the beauty of Nehalem Bay State Park is the connection to nature. The proposed expansion will negatively impact wildlife corridors, nesting areas, and the tenuous balance that already exists between nature and human visitors when the park is full at its current capacity. Adding more campsites and fly-in sites will require more staff and more services (e.g. to empty trash receptacles, clean and restock toilet facilities, provide visitor services, enforce park rules, etc. ). The Park is still suffering from the cutbacks in services and staff reductions that occurred during the covid shutdown. First, Park staffing and services need to return to pre-covid levels; then long-term funding needs to be secured for the additional Park staff and services to support any level of expansion. Beyond the immediate impact to the wildlife and the Park, the proposed expansion will negatively impact the local residents of Manzanita and Nehalem. These cities' drinking water and wastewater treatment facilities cannot support population spikes that would accompany the proposed expansion without infrastructure upgrades -- these should happen FIRST, before any expansions to the Park's capacity. If the overall project cannot fund infrastructure upgrades to support the extra people (beyond just road and traffic concerns), then it should not even be considered. The same goes for the need to fund increases in our local emergency services (fire, ambulance, police, evacuation, tsunami preparedness/response): all of these must be upgraded in personnel and resources BEFOREHAND, in order to support the per-capita spikes that would accompany the proposed project. The impact to wildlife, the Park itself, and the local communities all need to be addressed BEFORE serious consideration should even be given to the proposed expansion."

"As a member of the Manzanita community and lover of the State Park also, the indicated improvements will create more traffic congestion and safety risks on all park access roads. There needs to be a strategic infrastructure plan for safe walking along these roads to protect pedestrians and bikers before ANY consideration of growing the park capacity. As for the fly-ins no thank you. We already have too much air traffic that buzzes my residence daily and is very risky as most pilots do not use the approved air corridor to fly in/out, but cut short and cut over the residences as it is. I'm all for quality improvements and maintenance of the bayside amenities, but let's plan these improvements with input of the local residents who want to enjoy the area like our visitors desire also. That's why we chose our community."



## Lynn Tone

---

**From:** Marylou Andes <mayasnanna@aol.com>  
**Sent:** Wednesday, June 26, 2024 8:16 PM  
**To:** Lynn Tone; Marylou Andes  
**Subject:** EXTERNAL: Comments on #851-24-000192-PLNG Conditional Use Master Plan Application for Nehalem Bay State Park

[**NOTICE:** This message originated outside of Tillamook County -- **DO NOT CLICK** on links or open **attachments** unless you are sure the content is safe.]

Tillamook County Planning Commission

My name is Gary Andes, a resident of Tillamook County, residing between Nehalem and Manzanita near Nehalem Bay State Park.

I have recently been informed of and read about the proposed update to the Master Plan for Nehalem Bay State Park currently before the Planning Commission. As a result of my research into the update application, which proposes a considerable number of additional campsites and cabins within the park as well as numerous improvements to facilities within the park, I have a number of concerns and comments regarding the proposed update and expansion plans.

As you can imagine, additional available campsites and cabins will inevitably lead to increased usage of the park by visitors to the area. This will lead to added road traffic on local Necarney City Road which is already heavily traveled by existing campers, homeowners from Pine Ridge estates and the new Highlands development, locals going to the transfer station, and other local citizens day using the park for recreation.

In addition, the proposed upgrades to the park would result in additional air traffic in the area from fly-ins via the airport runway at the park. These fly-ins will likely create additional noise at my property which is quite close to the park and in the runway flight path.

One of the aspects or impacts not even mentioned anywhere in the planning application documents is the potentially adverse impacts that may occur to the buried cultural resources in the ground at the park. This area has long been known as a highly used Native American area in the past and many native artifacts have been previously found in the park area.

In addition, my main cultural resource concern has to do with the possibility that parts of the wreckage of the 1693 Spanish Galleon (or Beeswax Galleon as it is more commonly known as) may be buried in the sands of the park and will be disturbed by the various types of excavations and ground work that would occur with this expansion. Although some verified Beeswax Galleon timbers have been found and recently recovered (2022) in caves at Short Sands Beach in Oswald West State Park, some archeologists still believe that parts of the historical wreckage may be buried in the Nehalem Bay State Park area and dunes as many artifacts from the wreck have been recovered previously within the park boundaries. Because of this possibility, these valuable historic wreckage pieces (timbers, porcelain, terra-cotta) must be recovered and preserved during any excavation or ground disturbance.

The wreck of the Beeswax Galleon is a significant historical event for Native Americans, Tillamook County, and the State of Oregon as it represents the first known contact by Native Americans with non-native people on the Oregon coast.

I believe that federal and state Historic Preservation laws require that an archeological survey be conducted before work begins at the site on this expansion. The Tillamook County Planning Commission and Commissioners must ensure that any possible artifacts are recovered and preserved during any work at the park.

A trained archeologist should be hired and employed by the County or State Park to be on-site at all times during any excavation or ground work to ensure that artifacts are properly recovered and preserved at any cultural sites found during the work (whether Native American or Beeswax Galleon related). In addition, contractors should be educated and trained beforehand to be able to spot any artifacts and halt work until the archeologist examines the site in question.

I am requesting that a condition be added to anything the Planning Commission approves regarding this application, that require that an archeologist be hired to oversee any excavation and ground disturbance activities at the state park.

I am sending these comments now as I will be unable to attend in person or virtually at the July 11 Planning Commission hearing on this topic. If you have any questions regarding my comments or concerns, please feel free to call me at 503/930-5540. Thank you for the opportunity to comment and to seriously consider my comments.

Gary Andes  
35740 Clipper Court  
Nehalem, OR 97131



## Melissa Jenck

---

**From:** Lynn Tone  
**Sent:** Wednesday, July 3, 2024 12:04 PM  
**To:** Melissa Jenck  
**Subject:** FW: EXTERNAL: Notice of public hearing, Tillamook county planning commission # 851-24-000192-PLNG

Lynn Tone | Short-Term Rental Technician TILLAMOOK COUNTY | Community Development 1510-B Third St Tillamook, OR 97141 Phone (503) 842-3408 #3315 Lynn.Tone@tillamookcounty.gov My working hours are 7:00am to 5:30pm, Monday thru Thursday

-----Original Message-----

From: Paul Riegler <paulwriegler@gmail.com>  
Sent: Monday, June 24, 2024 1:38 PM  
To: Lynn Tone <Lynn.tone@tillamookcounty.gov>  
Cc: Jan <janriegler62@att.net>  
Subject: EXTERNAL: Notice of public hearing, Tillamook county planning commission #851-24-000192-PLNG

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Hi Lynn,

It states in the notice I received , that I should contact you if I wish to have comments included in the staff report that will be presented to the Planning Commission. So I am contacting you for the timing And procedures. I am also uncertain as to what the last three lines on the first page of the submitted notice means Starts " Failure of an issue to be raised in an hearing...finishes... "precludes appeal to the land use board of appeals on the issue"

Appreciate your help

Sincerely

Paul Riegler

Manzanita

I

Sent from my iPhone

## Melissa Jenck

---

**From:** Lynn Tone  
**Sent:** Monday, June 17, 2024 7:16 AM  
**To:** Melissa Jenck  
**Subject:** FW: EXTERNAL: Providing oral testimony at Planning Commission meeting RE: 851-24-000192-PLNG

Lynn Tone | Short-Term Rental Technician TILLAMOOK COUNTY | Community Development 1510-B Third St Tillamook, OR 97141 Phone (503) 842-3408 #3315 Lynn.Tone@tillamookcounty.gov My working hours are 7:00am to 5:30pm, Monday thru Thursday

-----Original Message-----

**From:** Regina Dehen <pila1965@icloud.com>  
**Sent:** Saturday, June 15, 2024 11:28 PM  
**To:** Lynn Tone <lynn.tone@tillamookcounty.gov>  
**Subject:** EXTERNAL: Providing oral testimony at Planning Commission meeting RE: 851-24-000192-PLNG

[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hello,

I am submitting a formal request to present testimony about this proposal at the planning commission meeting on Thursday July 11 at 7 PM. I live within 250 feet of the subject property. I will also be submitting written testimony.

Please send me the instructions for how to provide oral testimony.

Thank you and stay well,  
Regina



## Melissa Jenck

---

**From:** Brian Olle  
**Sent:** Tuesday, July 2, 2024 4:44 PM  
**To:** Melissa Jenck  
**Cc:** Chris Laity  
**Subject:** RE: 851-24-000192-PLNG: Notice of Public Hearing

Hi Melissa,

It would appear there is a discrepancy in the information being presented by OPRD. The master plan from 2009 does state that the road was “used beyond it’s capacity and badly in need of improvements. Pedestrians and bicycles share the roadway, and there is no pedestrian or bicycle lanes”. The most recent master plan being proposed does seem to contradict that when it states “New traffic generated from proposed uses is not expected to exceed to capacity of this existing infrastructure”.

While this road has since been paved since the 2009 master plan, Public Works would like OPRD to provide clarification to these contradicting statements.

Thank You,

**Brian Olle, P.E.** | Engineering Project Manager  
**TILLAMOOK COUNTY** | Public Works  
Cell: (503)812-6569

**From:** Melissa Jenck <Melissa.Jenck@tillamookcounty.gov>  
**Sent:** Tuesday, July 2, 2024 2:45 PM  
**To:** Brian Olle <brian.olle@tillamookcounty.gov>  
**Subject:** RE: 851-24-000192-PLNG: Notice of Public Hearing

Not a problem, Brian.

I did want to send on some public comments I’ve received up to this point. There does appear to be neighboring properties with concerns relating to Garey Street and Necarney to support future development. I understand your previous comments, but wanted PW to be aware of the concerns by the public. Does PW have any additional comments they’d like to include, maybe a discussion into the current state of the road and its ability to facilitate the future development?

Thank you,

\*\*\* Please note that the Tillamook County domain has changed, and my email address is now [Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov) Please update your contact information as needed. Thank you. \*\*\*



**Melissa Jenck** (she/her) | Senior Planner  
TILLAMOOK COUNTY | Community Development  
1510-B Third Street  
Tillamook, OR 97141  
Phone (503) 842-3408 x 3301  
[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)

**My working hours are 7:00am to 5:30pm, Tuesday thru Friday, starting May 6<sup>th</sup>.**

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*The Department is excited to announce that we are OPEN to the public by appointment. To review the list of services provided and to schedule an appointment with us, please visit <https://www.tillamookcounty.gov/commdev> to access the appointment scheduler portal.*

**From:** Brian Olle <[brian.olle@tillamookcounty.gov](mailto:brian.olle@tillamookcounty.gov)>  
**Sent:** Monday, July 1, 2024 5:11 PM  
**To:** Melissa Jenck <[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)>  
**Subject:** RE: 851-24-000192-PLNG: Notice of Public Hearing

Hi Melissa,

My apologies for not getting back. I think my initial thought was this did not directly affect Public Works and likely didn't warrant any improvements so I didn't respond. After discussing with Chris he agrees, at this time Public Works has no comments or requirements at this time.

I'll be sure to respond going forward, even if that is a "no comment/requirements".

**Brian Olle, P.E.** | Engineering Project Manager  
TILLAMOOK COUNTY | Public Works  
Cell: (503)812-6569

**From:** Melissa Jenck <[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)>  
**Sent:** Monday, July 1, 2024 2:14 PM  
**To:** Brian Olle <[brian.olle@tillamookcounty.gov](mailto:brian.olle@tillamookcounty.gov)>  
**Subject:** FW: 851-24-000192-PLNG: Notice of Public Hearing

Good afternoon Brian,

Just wanted to get your comments on this application (see original email below). It's understood that Garey Street serves as the access into Nehalem Bay State Park, which is existing and improved.

The Applicants (OPRD) is proposing updates to the park, which includes expansions to the number of visitor accommodations provided in the park.



Staff wanted to confirm if County Parks has any concerns or requirements to the County Road which will be required as part of this request. I'm preparing the Staff report to go out Wednesday so if you have comments.

\*\*\* Please note that the Tillamook County domain has changed, and my email address is now [Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov) Please update your contact information as needed. Thank you. \*\*\*



**Melissa Jenck** (she/her) | Senior Planner  
TILLAMOOK COUNTY | Community Development  
1510-B Third Street  
Tillamook, OR 97141  
Phone (503) 842-3408 x 3301  
[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)

**My working hours are 7:00am to 5:30pm, Tuesday thru Friday, starting May 6<sup>th</sup>.**

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*The Department is excited to announce that we are OPEN to the public by appointment. To review the list of services provided and to schedule an appointment with us, please visit <https://www.tillamookcounty.gov/commdev> to access the appointment scheduler portal.*

**From:** Melissa Jenck  
**Sent:** Thursday, June 13, 2024 6:13 PM  
**To:** Melissa Jenck <[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)>  
**Cc:** Lynn Tone <[Lynn.Tone@tillamookcounty.gov](mailto:Lynn.Tone@tillamookcounty.gov)>; Sarah Absher <[Sarah.Absher@tillamookcounty.gov](mailto:Sarah.Absher@tillamookcounty.gov)>  
**Subject:** 851-24-000192-PLNG: Notice of Public Hearing

Good evening,

Please see the Notice of Public Hearing for #851-4-000192-PLNG for Oregon Parks and Recreation Department's proposal for a Conditional Use Master Plan update to Nehalem Bay State Park. The hearing is scheduled for 7:00pm on July 11, 2024. Information for virtual links to the meeting can be found on the Community Development Homepage.

You can visit the link below, for access to the notice and application materials.

<https://www.tillamookcounty.gov/commdev/project/851-24-000192-plng>

Sincerely,

\*\*\* Please note that the Tillamook County domain has changed, and my email address is now [Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov) Please update your contact information as needed. Thank you. \*\*\*



**Melissa Jenck** (she/her) | Senior Planner  
**TILLAMOOK COUNTY** | Community Development  
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Tillamook, OR 97141  
Phone (503) 842-3408 x 3301  
[Melissa.Jenck@tillamookcounty.gov](mailto:Melissa.Jenck@tillamookcounty.gov)

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