



Land of Cheese, Trees and Ocean Breeze

**PARTITION REQUEST #851-24-000277-PLNG:
ROOS / RICE
ADMINISTRATIVE DECISION & STAFF REPORT**

Decision: Approved with Conditions

Decision Date: July 29, 2024

Report Prepared By: Angela Rimoldi, Planning Technician

I. GENERAL INFORMATION:

- Request:** Partition request to create three (3) residential parcels.
- Location:** Located within the Community of Beaver, accessed via a private easement, Farnam Street. The subject property is designated as Tax Lot 705 of Section 29CB, Township 3 South, Range 09 West of the Willamette Meridian, Tillamook County Oregon.
- Zone:** Community Single-Family Residential (CSFR)
- Applicant:** Michael Rice, P.O. Box 521, Tillamook, OR. 97141
- Property Owner:** Alexis Roos, 20295 E Beaver Creek Rd., Cloverdale, OR. 97112

Description of Site and Vicinity: The subject property is accessed via a private easement, Farnam Street, which is reached via Blaine Road, a county-maintained road, is irregular in shape, holds no improvements, and is vegetated with grasses, shrubs, and trees (Exhibit A). The topography of the subject property varies, however, is generally sloped with some flat areas. The subject property is located within an area primarily devoted to residential, farm and forest use. The subject property is surrounded by properties also zoned CSFR to the north, south, east, and west; in addition, properties zoned Farm (F-1) to the southeast and properties zoned Forest (F) to the northeast (Exhibit A).

The subject property does not contain mapped wetlands or natural features as indicated on the Statewide Wetlands Inventory map and is located within Zone X an Area of Minimal Flood Hazard as depicted on FEMA Flood Insurance Rate Map FIRM 41057C0740F (Exhibit A).

The subject property is within an area of geologic Hazard (Exhibit A). A Condition of Approval has been made to require relevant standards of TCLUO Section 4.130: Development Requirements for Geologic Hazard Areas be adhered to at the time of development.

II. APPLICABLE ORDINANCE AND COMPREHENSIVE PLAN PROVISIONS:

The request is governed through the following Sections of the Tillamook County Land Use Ordinance (TCLUO). The suitability of the proposed use, in light of these criteria, is discussed in Section III of this report:

- A. Land Division Ordinance Section 070: Preliminary Plat Approval Criteria
- B. TCLUO Section 3.011: Community Single Family Residential (CSFR) Zone
- C. Land Use Ordinance Section 4.130: Development Requirements for Geologic Hazard Areas

III. ANALYSIS:

Notice of the request was mailed to property owners within 250 feet of the subject property and agencies on June 14, 2024. One comment was received from the Oregon Department of State Lands advising the unlikelihood of jurisdictional wetlands or waterways on the property (Exhibit C).

A. Land Division Ordinance Section 070: Preliminary Plat Approval Criteria

(1) Approval Criteria. The Approval Authority (Director for partitions and Planning Commission for subdivisions) may approve, approve with conditions or deny a preliminary plat. The Approval Authority decision shall be based on findings of compliance with all of the following approval criteria:

- (a) The land division application shall conform to the requirements of this ordinance;*
- (b) All proposed lots, blocks, and proposed land uses shall conform to the applicable provisions of the Land Use Ordinance – Article 3 Zone Regulations and the standards in Section 150 of this ordinance;*

Findings: The preliminary Partition Plat proposes the creation of three (3) parcels (Exhibit B). The applicability of the CSFR zone is addressed below. Plat and submitted supplemental information confirm the criteria above are met.

- (c) Access to individual lots, and public improvements necessary to serve the development, including but not limited to water, sewer and streets, shall conform to the standards in Sections 150 and 160 of this ordinance;*
- (d) The proposed plat name is not already recorded for another subdivision, does not bear a name similar to or pronounced the same as the name of any other subdivision within the County, unless the land platted is contiguous to and platted by the same party that platted the subdivision bearing that name or unless the party files and records the consent of the party that platted the contiguous subdivision bearing that name;*
- (e) The proposed streets, utilities, and surface water drainage facilities conform to Tillamook County’s adopted master plans and applicable engineering standards and, within Unincorporated Community Boundaries, allow for transitions to existing and potential future development on adjacent lands. The preliminary plat shall identify all proposed public improvements and dedications;*
- (f) All proposed private common areas and improvements, if any, are identified on the preliminary plat and maintenance of such areas is assured through appropriate legal instrument;*
- (g) Provisions for access to and maintenance of off-right-of-way drainage, if any;*

Findings: The preliminary plat outlines access to the subject property, and subsequent parcels, from a private easement, Farnam Street, which is reached via Blaine Road, a county-maintained road (Exhibit B). Staff concludes the above standards have been met or can be met through the Conditions of Approval.

Land Division Ordinance Section 150 outlines development standards for partitions. Standards within this section either do not apply, evidence submitted by the Applicant confirms the standards are met or that the standards can be met through compliance with the Conditions of Approval.

Staff concludes the above standards and the standards in Sections 150 and 160 of the Land Division Ordinance have been met or can be met through the Conditions of Approval.

- (h) Evidence that any required State and Federal permits, as applicable, have been obtained or can reasonably be obtained prior to development; and*
- (i) Evidence that improvements or conditions required by the road authority, Tillamook County, special districts, utilities, and/or other service providers, as applicable to the project, have been or can be met, including but not limited to:*
 - (i) Water Department/Utility District Letter which states that the partition or subdivision is either entirely excluded from the district or is included within the district for purposes of receiving services and subjecting the partition or subdivision to the fees and other charges of the district.*
 - (ii) Subsurface sewage permit(s) or site evaluation approval(s) from the appropriate agency.*

Findings: The subject property is served by the Beaver Water District and on-site wastewater. A water availability letter from the Beaver Water District is included in the Applicant’s submittal (Exhibit B). A notation can be placed on the plat stating that the allowance of the partition does not warrant that site evaluation approval is or will be available to the approved parcels if site evaluation approval has not yet been obtained.

The subject property is also served by the Nestucca Rural Fire Protection District, Tillamook County Sheriff’s Office and the Tillamook County Public Works Department. Given the location of the property, and the availability of public services existing in the area, staff conclude these criteria have been met or can be met through compliance with the Conditions of Approval.

B. TCLUO Section 3.011: Community Single Family Residential (CSFR) Zone

(4) STANDARDS: Land divisions and development in the CSFR zone shall conform to the following standards, unless more restrictive supplemental regulations apply:

- (a) The minimum lot size is 20,000 for permitted uses.*
 - (b) The minimum lot width and depth shall both be 100 feet.*
 - (c) The minimum front yard shall be 20 feet.*
 - (d) The minimum side yard shall be 5 feet; on the street side of a corner lot, it shall be no less than 15 feet.*
 - (e) The minimum rear yard shall be 20 feet; on a corner lot, it shall be no less than 5 feet.*
-

Findings: The applicant has provided a preliminary plat confirming the three (3) parcels to be created by the partition meet the minimum requirements for lot size and dimensions as outlined above (Exhibit B). There are no improvements on any proposed parcels, therefore side yard setbacks do not currently apply (Exhibit B).

C. Land Use Ordinance Section 4.130: Development Requirements for Geologic Hazard Areas

(1) The following are GEOLOGIC HAZARD AREAS to which the standards of this Section

apply:

- (a) Active landslides identified in Oregon Department of Geology and Mineral Industries (DOGMI) Bulletins 74 and 79;*
 - (b) Inactive landslides, landslide topography and mass movement topography identified in DOGMI bulletins 74 and 79 where slopes are greater than 19 percent;*
-

(2) A GEOLOGIC HAZARD report is required prior to approval of planned developments, coast resorts, subdivisions and partitions governed by the Land Division Ordinance, building permits, mobile home permits, sand mining, occurring in areas identified in (1) with the

following exception:

- (a) *For building or mobile home or manufactured home permits in areas identified in (1)(b), reports are needed for lots 20,000 square feet or larger only where the proposed structure is to be situated on slopes greater than 29 percent or if (1) (f) applies*

Findings: Future development of the subject property will be subject to development standards of the TCLUO Section 4.130: Development Requirements for Geologic Hazard Areas. A Condition of Approval has been outlined below in Section V.

IV. DECISION: APPROVED WITH CONDITIONS

Staff concludes, based on the findings of fact and other relevant information in the record, the Applicant has satisfied or is able to satisfy the applicable ordinance requirements through the Conditions of Approval, and therefore, approves the request subject to the provisions in Section V below.

By accepting this approval, the applicants/property owners agree to indemnify, defend, save and hold harmless Tillamook County, and its officers, agents, and employees from any claim, suit, action or activity undertaken under this approval, including construction under a Building Permit approved subject to this approval. The applicants/property owners shall obtain all of the necessary local, state, and federal permits and comply with all applicable regulations for the proposed building site.

This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. Forms and fees must be filed in the office of this Department before **4:00 PM on August 12, 2024**.

V. CONDITIONS OF APPROVAL:

Failure to comply with the Conditions of Approval and ordinance provisions could result in nullification of this approval.

1. The applicant shall obtain all Federal, State, and Local permits, as applicable.
2. All easements necessary to serve the parcels for access and utilities shall be clearly identified on the Final Plat.
3. The applicant shall comply with all requirements of the Tillamook County Surveyor's Office.
4. The applicant shall record the Final Plat within two (2) years from the approval date of the Preliminary Plat or apply for an extension of time from this Department prior to expiration of Preliminary Plat approval.
5. The applicant shall record the Final Plat within ninety (90) days from the date of final signature of the partition plat.
6. Future development is subject to standards required by TCLUO Section 3.011: Community Single Family Residential (CSFR) Zone and TCLUO Section 4.130: Development Requirements for Geologic Hazard Areas

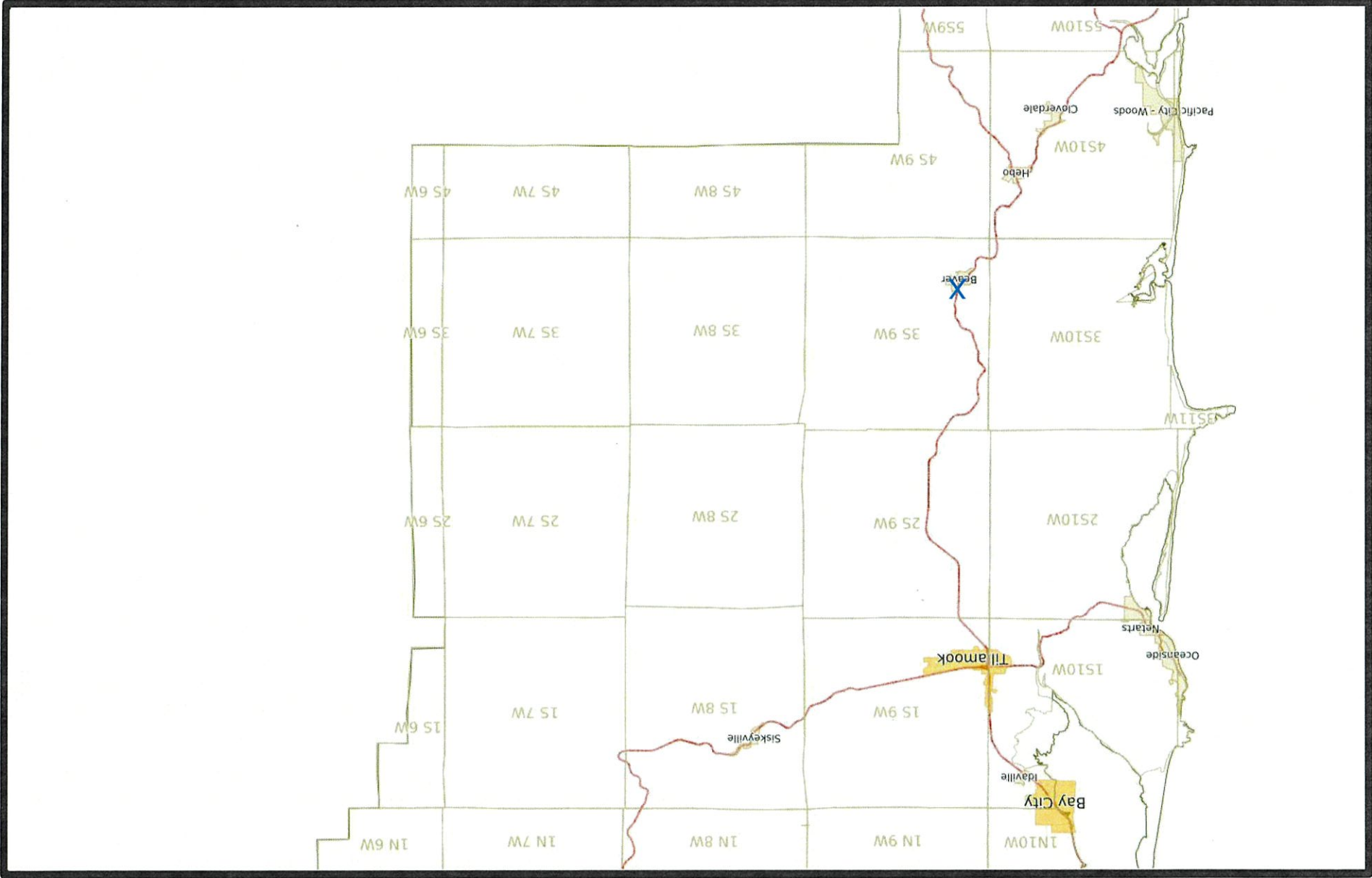
VI. EXHIBITS:

All Exhibits referenced herein are, by this reference, made a part hereof:

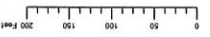
- A. Property identification maps and Assessor's Summary Report
- B. Applicant's submittal

EXHIBIT A

Map



THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY

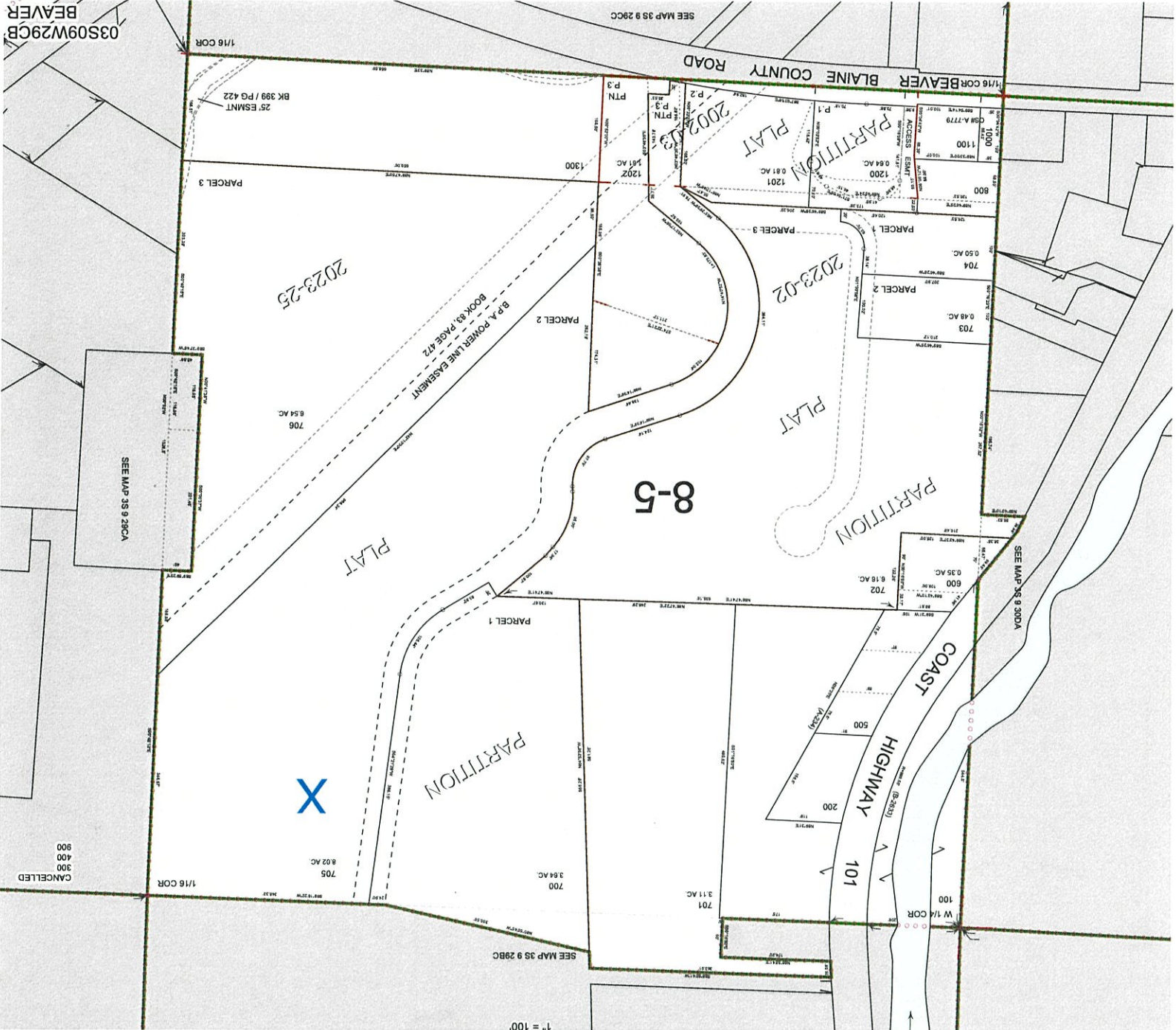


N.W. 1/4 S.W. 1/4 SEC. 29 T.3S. R.9W. W.M.

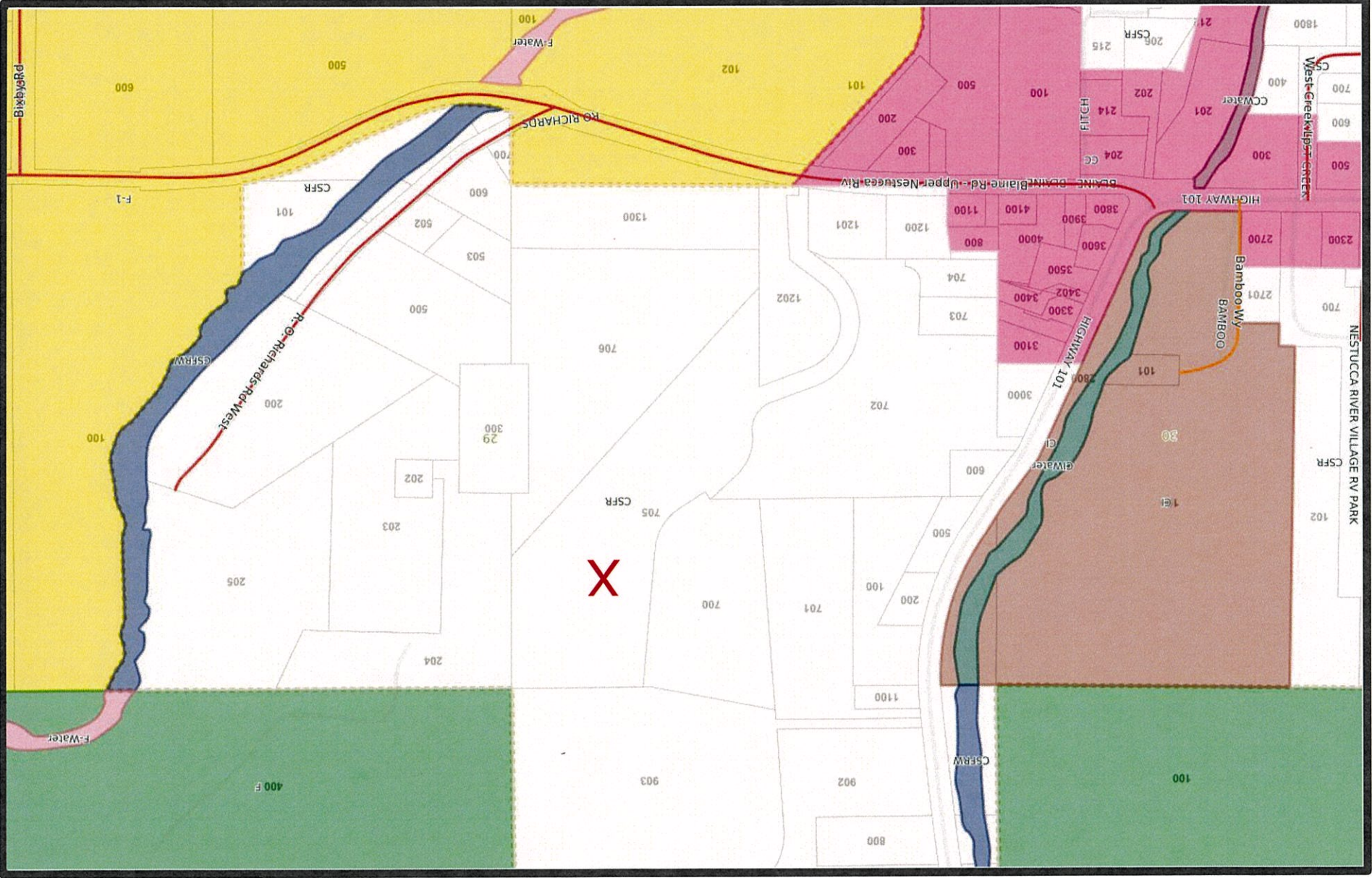
TILLAMOOK COUNTY

03S09W29CB
BEAVER

03S09W29CB
BEAVER
Revised 12/29/23, WS



Map

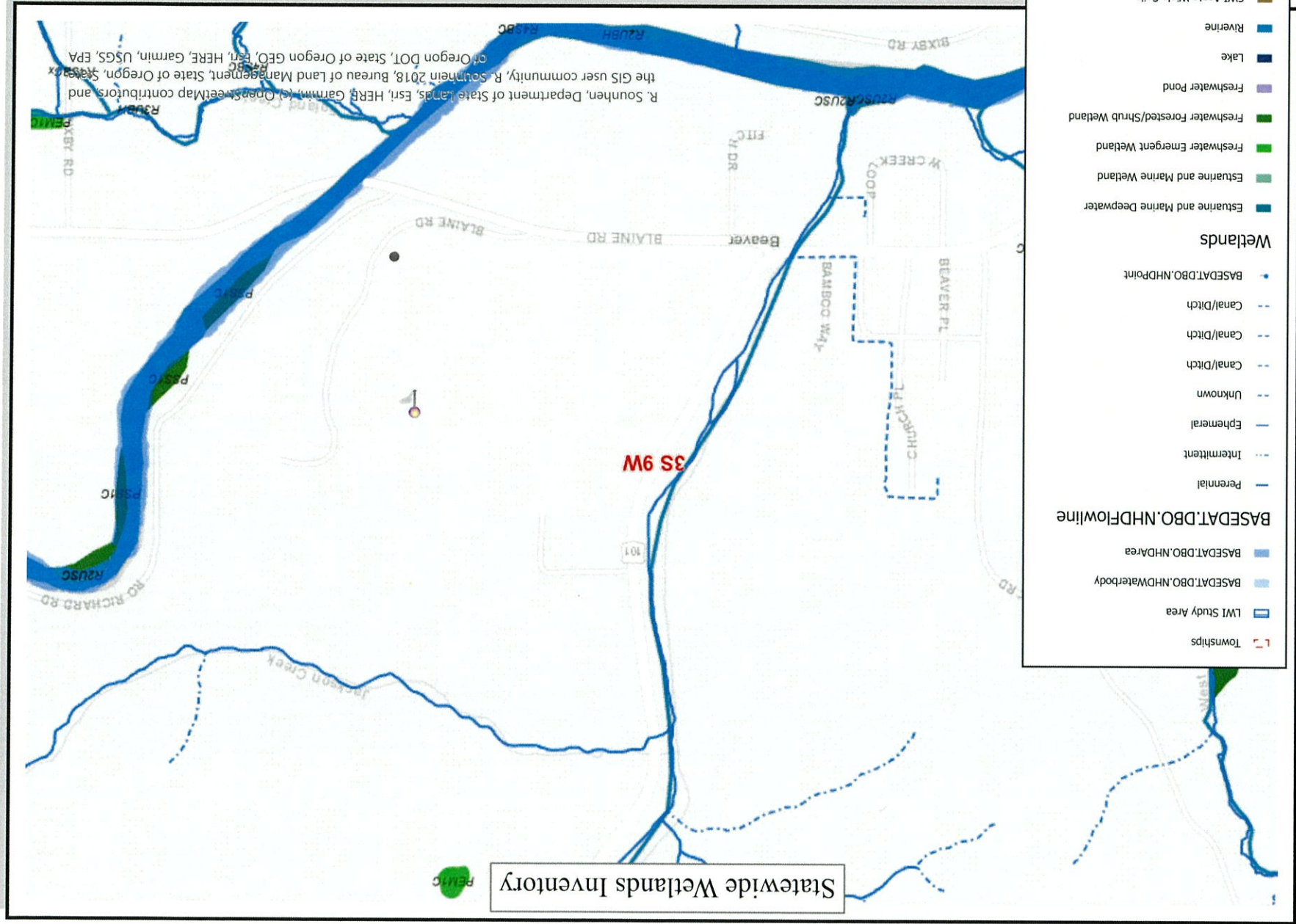
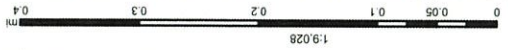




Date: 7/25/2024



The Statewide Wetlands Inventory (SWI) represents the best data available at the time this map was published and is updated as new data becomes available. In all cases, actual field conditions determine the presence, absence and boundaries of wetlands and waters (such as creeks and ponds). An onsite investigation by a wetland professional can verify actual field conditions.



Statewide Wetlands Inventory

- Townships
- LWI Study Area
- BASEDAT.DBO.NHDWaterbody
- BASEDAT.DBO.NHDArea
- BASEDAT.DBO.NHDFlowline
- Perennial
- Intermittent
- Ephemeral
- Unknown
- Canal/Ditch
- Canal/Ditch
- Canal/Ditch
- BASEDAT.DBO.NHDPoint
- Wetlands
 - Estuarine and Marine Deepwater
 - Estuarine and Marine Wetland
 - Freshwater Emergent Wetland
 - Freshwater Forested/Shrub Wetland
 - Freshwater Pond
 - Lake
 - Riverine
- SWI Agate-Winho Soils
- SWI Predominantly Hydric Soil Map Units

National Flood Hazard Layer FIRMette



123°49'32"W 45°16'57"N



123°48'54"W 45°16'32"N 1:6,000 Feet 2,000 1,500 1,000 500 250 0

SEE HIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	
Without Base Flood Elevation (BFE) Zone A, V, A99	[Light Blue Box]
With BFE or Depth Zone AE, AO, AH, VE, AR	[Blue Box]
Regulatory Floodway	[Blue and Orange Striped Box]

OTHER AREAS OF FLOOD HAZARD	
0.2% Annual Chance Flood Hazard, Areas of less than one square mile	[Orange Box]
Future Conditions 1% Annual Chance Flood Hazard Zone X	[Grey and White Striped Box]
Area with Reduced Flood Risk due to Levee, See Notes, Zone X	[Yellow and White Striped Box]
Area with Flood Risk due to Levee Zone X	[Yellow and Black Striped Box]
Area of Minimal Flood Hazard Zone X	[No Screen]
Effective LOMRs	[Blue Box]
Area of Undetermined Flood Hazard Zone X	[Light Orange Box]

GENERAL STRUCTURES	
Levee, Dike, or Floodwall	[Dashed Line]
Channel, Culvert, or Storm Sewer	[Dotted Line]

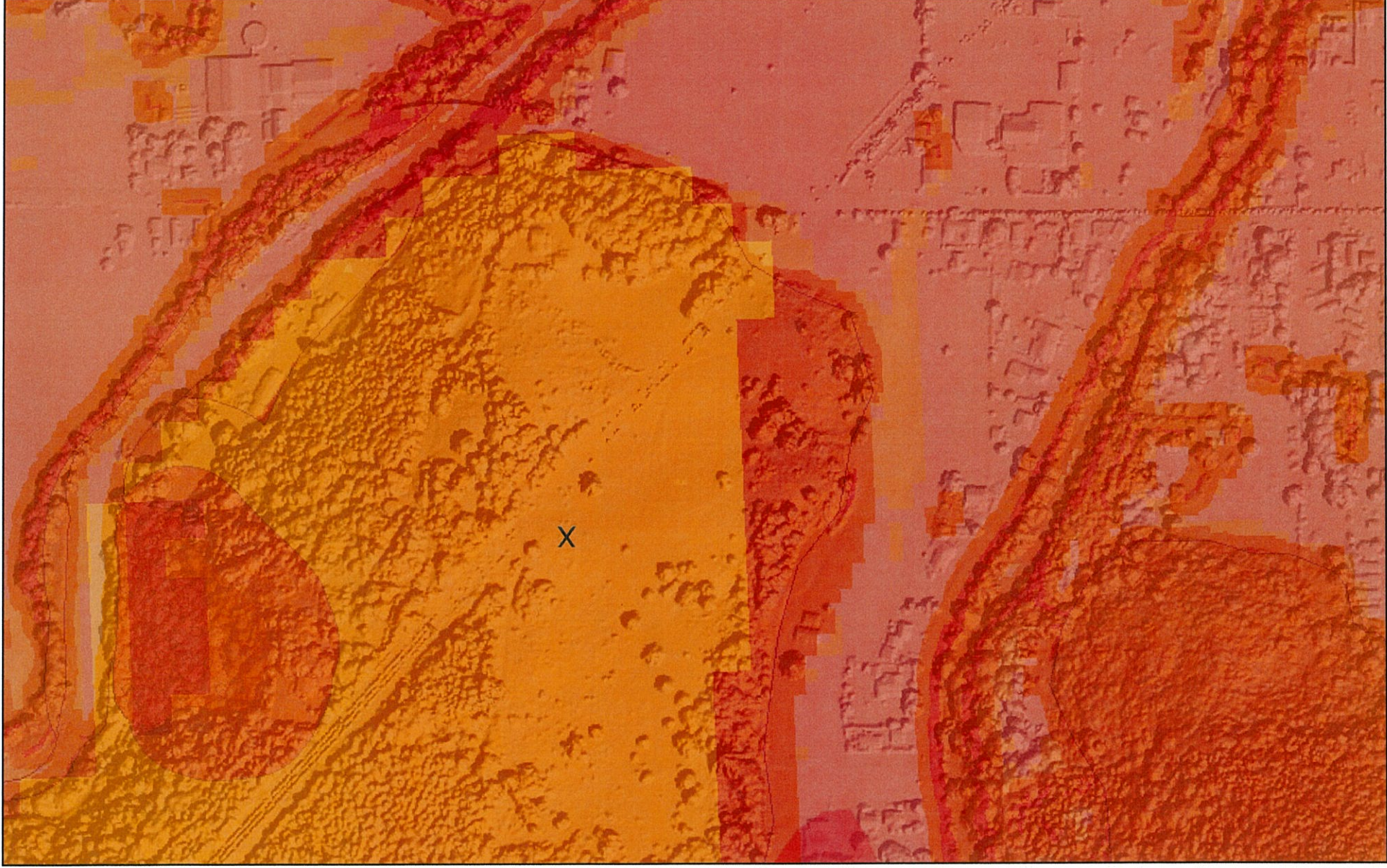
OTHER FEATURES	
Cross Sections with 1% Annual Chance Water Surface Elevation	[Line with 'B' and '20.2']
Coastal Transect	[Line with '8']
Base Flood Elevation Line (BFE)	[Line with '17.5']
Limit of Study	[Red and White Striped Line]
Jurisdiction Boundary	[Yellow and White Striped Line]
Coastal Transect Baseline	[Dashed Line]
Profile Baseline	[Solid Line]
Hydrographic Feature	[Blue Line]

MAP PANELS	
Digital Data Available	[Green Box]
No Digital Data Available	[Light Green Box]
Unmapped	[White Box with X]

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards. The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 7/25/2024 at 4:55 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time. This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmoderated areas cannot be used for regulatory purposes.

PARTITION #851-24-000277-PLNG



July 25, 2024

Earthquake Epicenter_1941_2022

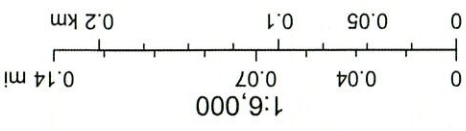
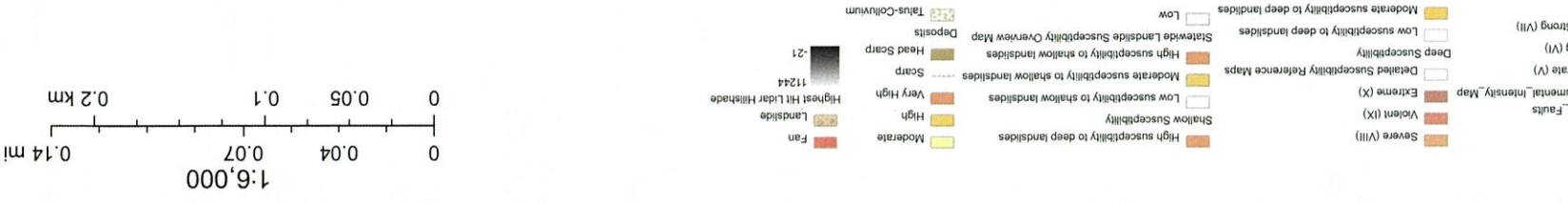


EXHIBIT B



Tillamook County Department of Community Development
 1510-B Third Street, Tillamook, OR 97141 | Tel: 503-842-3408
www.co.tillamook.or.us

Fax: 503-842-1819

LAND DIVISION APPLICATION

Applicant (Check Box if Same as Property Owner)

Name: Michael R. Rice, PLS Phone: (503) 801-7901
 Address: P.O. Box 521
 City: Tillamook State: OR Zip: 97141
 Email: ricesurveying@outlook.com

Property Owner

Name: Alexis Roos Phone: (503) 812-7865
 Address: 20295 Beaver Creek Road
 City: Cloverdale State: OR Zip: 97112
 Email: case.roos7@gmail.com

Location:

Site Address: Parcel 2, P.P. #2023-25
 Map Number: 3S 9W 29CB #705
 Township Range Section Tax Lot(s)

Land Division Type: Partition (Two or Three Lots, Type II) Subdivision (Four or More Lots, Type III)
 Preliminary Plat (Pages 1-2) Final Plat (Page 3)

PRELIMINARY PLAT (LDO 060(1)(B))

- For subdivisions, the proposed name.
- Date, north arrow, scale of drawing.
- Location of the development sufficient to define its location, boundaries, and a legal description of the site.
- Existing streets with names, right-of-way, pavement widths, access points.
- Width, location and purpose of existing easements
- The location and present use of all structures, and indication of any that will remain after platting.
- Location and identity of all utilities on and abutting the site. If water mains and sewers are not on site, show distance to the nearest one and how they will be brought to standards
- Location of all existing subsurface sewerage systems, including drainfields and associated easements

General Information

- Parcel zoning and overlays
- Title Block
- Clear identification of the drawing as "Preliminary Plat" and date of preparation
- Name and addresses of owner(s), developer, and engineer or surveyor

Existing Conditions

- Ground elevations shown by contour lines at 2-foot vertical interval. Such ground elevations shall be related to some established benchmark or other datum approved by the County Surveyor
- The location and elevation of the closest benchmark(s) within or adjacent to the site
- Natural features such as drainage ways, rock outcroppings, aquifer recharge areas, wetlands, marshes, beaches, dunes and tide flats
- For any plat that is 5 acres or larger, the Base Flood Elevation, per FEMA Flood Insurance Rate Maps

- Fifteen (15) legible "to scale" hard copies
- One digital copy

Other information: _____

OFFICE USE ONLY
Date Stamp
RECEIVED
MAY 20 2024
<input type="checkbox"/> Approved <input type="checkbox"/> Denied
Received by: _____
Receipt #: <u>1371083</u>
Fees: <u>1155,-</u>
Permit No: <u>851-DW0227-PLNG</u>

Proposed Development

- Proposed lots, streets, tracts, open space and park land (if any); location, names, right-of-way dimensions, approximate radius of street curves; and approximate finished street center line grades. All streets and tracts that are being held for private use and all reservations and restrictions relating to private tracts identified
- Location, width and purpose of all proposed easements
- Proposed deed restrictions, if any, in outline form
- Approximate dimensions, area calculation (in square feet), and identification numbers for all proposed lots and tracts
- Proposed uses of the property, including all areas proposed to be dedicated as public right-of-way or reserved as open space
- On slopes exceeding an average grade of 10%, as shown on a submitted topographic survey, the preliminary location of development on lots demonstrating that future development can meet minimum required setbacks and applicable engineering design standards
- Preliminary utility plans for sewer, water and storm drainage when these utilities are to be provided
- The approximate location and identity of other utilities, including the locations of street lighting fixtures, as applicable
- Evidence of compliance with applicable overlay zones, including but not limited to the Flood Hazard Overlay (FH) zone
- Evidence of contact with the applicable road authority for proposed new street connections
- Certificates or letters from utility companies or districts stating that they are capable of providing service to the proposed development

Additional Information Required for Subdivisions

- Preliminary street layout of undivided portion of lot
- Profiles of proposed drainage ways
- Special studies of areas which appear to be hazardous
- In areas subject to flooding, materials shall be submitted to demonstrate that the requirements of the Flood Hazard Overlay (FHO) zone of the County's Land Use Ordinance will be met
- Where the plat includes natural features subject to the conditions or requirements contained in the County's Land Use Ordinance, materials shall be provided to demonstrate that those conditions and/or requirements can be met
- Approximate center line profiles of streets, including extensions for a reasonable distance beyond the limits of the proposed Subdivision, showing the proposed finished grades and the nature and extent of construction
- If lot areas are to be graded, a plan showing the nature of cuts and fills, and information on the character of the soil
- Proposed method of financing the construction of common improvements such as street, drainage ways, sewer lines and water supply lines


- FINAL PLAT (LDO 090(1))**
- Date, scale, north arrow, legend, highways, and railroads contiguous to the plat perimeter
- Description of the plat perimeter
- The names and signatures of all interest holders in the land being platted, and the surveyor
- Monuments of existing surveys identified, related to the plat by distances and bearings, and referenced to a document of record
- Exact location and width of all streets, pedestrian ways, easements, and any other rights-of-way
- Easements shall be denoted by fine dotted lines, and clearly identified as to their purpose
- Provisions for access to and maintenance of off-right-of-way drainage
- Block and lot boundary lines, their bearings and lengths
- Block numbers
- Lot numbers
- The area, to the nearest hundredth of an acre, of each lot which is larger than one acre
- Identification of land parcels to be dedicated for any purpose, public or private, so as to be distinguishable from lots intended for sale

Certificates:

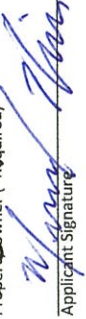
- Title interest & consent
- Dedication for public use
- Engineering/Survey
- Water
- Public Works
- Additional Information:

Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. Within two (2) years of final review and approval, all final plats for land divisions shall be filed and recorded with the County Clerk, except as required otherwise for the filing of a plat to lawfully establish an unlawfully created unit of land. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.



Property Owner (Required)
Date 5/13/24



Applicant Signature
Date 5/13/24

PARTITION PLAT PROPOSAL
 REPLAT OF PARCEL 2, PARTITION PLAT #2023-25
 LOCATED IN THE NW 1/4 AND THE SW 1/4 OF SECTION 29
 T. 3 S., R. 9 W., W.M.
 TILLAMOOK COUNTY, OREGON
 MAY 15th, 2024

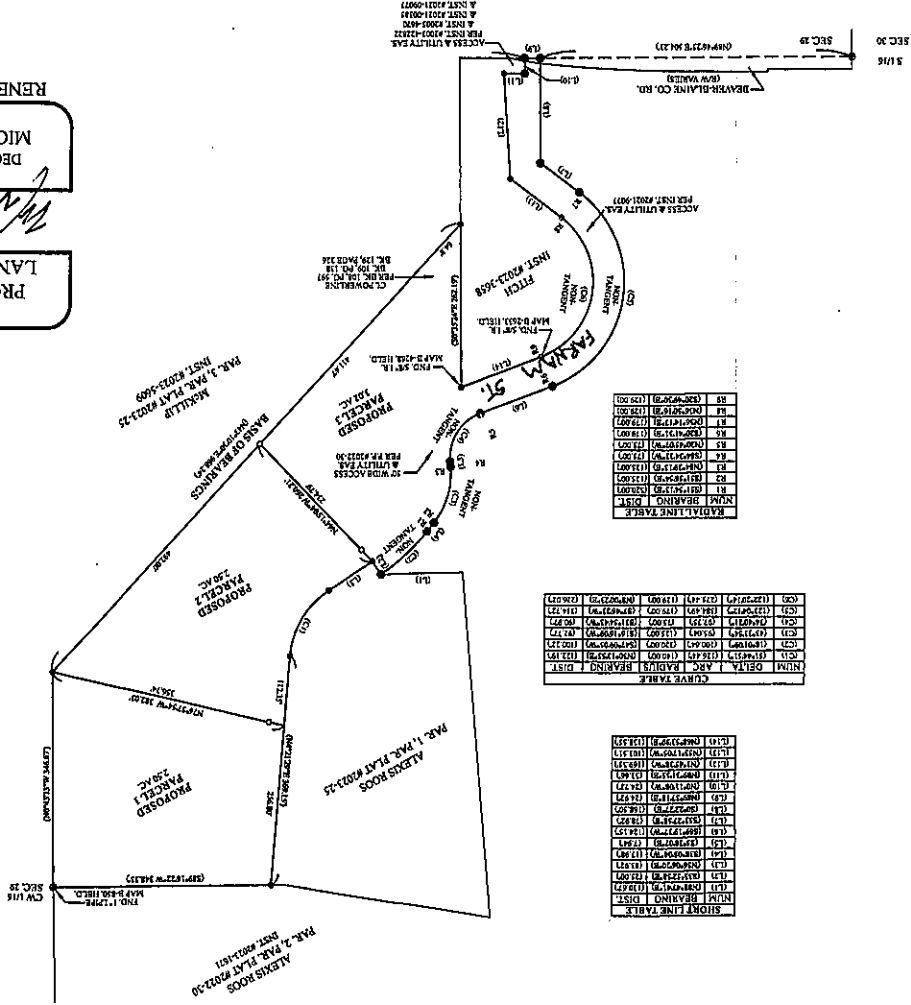
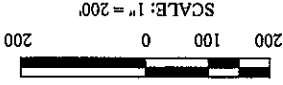
BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS PROPOSAL IS
 ACROSS FOUND, ORIGINAL PARTITION PLAT
 SOUTHERLY LINE OF PARCEL 2, PARTITION PLAT
 #2023-25 (P-1220), TILLAMOOK COUNTY SURVEY
 RECORDS.

NARRATIVE:
 THIS PROPOSAL WAS CONDUCTED AS A
 DEPENDENT RESURVEY OF THE SUBJECT
 PROPERTY DESCRIBED AS PARCEL 2, PARTITION
 PLAT #2023-25 AND RECORDED IN INSTRUMENT
 B-1410 AND RECORDED AS INSTRUMENT
 #2023-5151, TILLAMOOK COUNTY CLERKS
 RECORDS.

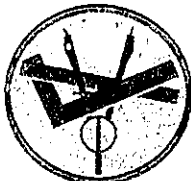
THE LINES WERE THEN PROPOSED AS DIRECTED
 BY THE LANDOWNER AND APPROVED BY
 TILLAMOOK COUNTY DEPARTMENT OF
 COMMUNITY DEVELOPMENT NO.
 XXX-XX-XXXXXX-PLNG.

NOTE: THIS PARTITION WILL NOT BE FINALIZED
 UNTIL THE PROPER PLAT HAS BEEN RECORDED
 WITH THE TILLAMOOK COUNTY CLERKS
 OFFICE.

- PROPOSED SET MONUMENTS.
- FOUND MONUMENTS AS DESCRIBED IN PARTITION PLAT #2023-25, TILLAMOOK COUNTY SURVEY RECORDS.
- () RECORD PER PARTITION PLAT #2023-25 (P-1192), TILLAMOOK COUNTY SURVEY RECORDS.
- (NO) EQUALS MEASURED VALUE MEASURED EQUALS RECORD TILLAMOOK COUNTY SURVEY RECORDS UNLESS OTHERWISE NOTED.



PROPOSAL FOR:
ALEXIS ROOS
 LANDS DESCRIBED IN THE NW 1/4 AND THE SW 1/4 OF SECTION 29,
 T. 3 S., R. 9 W., W.M.
 PARCEL 2, PARTITION PLAT #2023-25
 INSTRUMENT #2023-5151
 TILLAMOOK COUNTY CLERK'S RECORDS



RSC
 RICE SURVEYING AND CONSULTING
 P.O. BOX 521
 TILLAMOOK, OREGON 97141
 CELL: (503) 801-7901

REGISTERED
 LAND SURVEYOR
 PROFESSIONAL
 MICHAEL R. RICE
 DECEMBER 11, 2012
 OREGON
 86926
 RENEWAL 12-31-2024

Beaver Water District
PO Box 306
Cloverdale, OR 97112
503-457-3570
beaverwaterdistrict@outlook.com

WATER AVAILABILITY

Date: 05/15/2024

To Whom it May Concern:

This letter is to inform you that Water service is available to the following lot within our District:

Township: 3S Range: 92 Section: 9CB Tax Lot: 00705

Physical Address: TBD

According to our records the legal owner is: Alexis Roos

Outstanding liens against the property listed above for Water: \$ _____

System Development Fees: _____

Water In District: \$ 12,500.00 Received By: _____

Check Number: _____ Acct. No.: _____

COMMENTS: _____


Signature of Authorized Representative, Title

****No connection shall be made to water lines without a written agreement between the Beaver Water District and owner of the property. Line and connection inspections are required by the Water Operator, fees may apply. All connections shall be made in accordance with State, County, DEQ, OHA, and current plumbing guidelines.**

DECLARATION: KNOW ALL PEOPLE BY THESE PRESENT THAT ALEXIS ROOS, BEING THE OWNER OF THE LAND REPRESENTED HEREON AND NOW PARTICULARLY DESCRIBED IN THE ACCOMPANYING CERTIFICATE, HAS CAUSED THE SAME TO BE

ALEXIS ROOS

ACKNOWLEDGMENT:

STATE OF OREGON
>
> S.S.
>
COUNTY OF TILLAMOOK

KNOW ALL PEOPLE BY THESE PRESENT ON THIS 11 DAY OF October 2023 BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE. PERSONALLY APPEARED ALEXIS ROOS, WHO BEING DULY SWORN, DID SAY THAT SHE WAS THE IDENTICAL PERSON NAMED ON THE FOREGOING INSTRUMENT, AND ARE AFFIXED TO SAID INSTRUMENT AND IS OF HER VOLUNTARY ACT OR DEED.

NOTARY'S SIGNATURE
Allison Marie

DATE
10-11-2023

PRINTED NAME OF NOTARY
Allison Marie

NOTARY PUBLIC: DR
COMMISSION NO. 101814

MY COMMISSION EXPIRES: October 31, 2025
FULL NAME OF MONTH, 2 DIGIT DATE, AND COMPLETE YEAR

CERTIFICATE OF COUNTY CLERK:

STATE OF OREGON
>
> S.S.
>
COUNTY OF TILLAMOOK

I, CHRISTY BIGGS, DO HEREBY CERTIFY THAT I AM THE QUALIFIED CLERK OF TILLAMOOK COUNTY, OREGON AND THAT THIS COPY OF PARTITION PLAT NO. 2023-25 IS THE FULL, COMPLETE AND TRUE COPY OF THE ORIGINAL PLAT ON FILE IN THE COUNTY CLERK'S OFFICE. I, CHRISTY BIGGS, TILLAMOOK COUNTY CLERK

Christy Biggs, Chief Deputy

I, MICHAEL R. RICE, DO HEREBY CERTIFY THAT THIS IS A FULL, COMPLETE AND TRUE COPY OF THE ORIGINAL PLAT AS REFERENCED ABOVE.

MICHAEL R. RICE, PLS. #6926

PARTITION PLAT NO. 2023-25
REPLAT OF PARCEL 1, PARTITION PLAT #2022-30
LOCATED IN THE NW 1/4 OF THE SW 1/4 AND THE
SW 1/4 OF THE NW 1/4 OF SECTION 29, T. 3 S., R. 9 W., W.M.

SEPTEMBER 14th, 2023

EASEMENTS OF RECORD:

EASEMENT IN FAVOR OF THE PARTNER OF INTERIOR BOUNDARY REPAIR, REGULAR REMOVE, REMAIN, RENEWAL, REPAIR, REPAIR, REPAIR AND REPAIR IN FAVOR OF THE PARTNER OF INTERIOR BOUNDARY REPAIR, REGULAR REMOVE, REMAIN, RENEWAL, REPAIR, REPAIR, REPAIR AND REPAIR. RECORDED ON SEPTEMBER 9, 1942 IN DEED BOOK 81, PAGE 472. TILLAMOOK COUNTY CLERK'S RECORDS.

10' WIDE EASEMENT FOR THE PURPOSE OF A WATER LINE AND MAINTENANCE IN FAVOR OF B.L. BECKER, RECORDED ON JANUARY 24, 1966 IN DEED BOOK 92, PAGE 539 AND PAGE 540. TILLAMOOK COUNTY CLERK'S RECORDS. LOCATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 29, T. 3 S., R. 9 W., W.M. "NO SPECIFIC LOCATION, MAY NOT AFFECT THIS PROPERTY."

EASEMENT FOR THE PURPOSE OF A SPRING AND WATER LINE AND MAINTENANCE IN FAVOR OF EDWARD KING AND MARGARET KING, RECORDED ON MARCH 10, 1947 IN DEED BOOK 106, PAGE 182. TILLAMOOK COUNTY CLERK'S RECORDS. LOCATED IN THE NW 1/4 OF SECTION 29, T. 3 S., R. 9 W., W.M. "MAY NOT AFFECT THIS PROPERTY."

EASEMENT FOR THE PURPOSE OF CONSTRUCT, OPERATE AND MAINTAIN TRANSMISSION LINES IN FAVOR OF TILLAMOOK PEOPLE'S UTILITY DISTRICT, RECORDED ON OCTOBER 21, 1947, IN DEED BOOK 109, PAGE 138. TILLAMOOK COUNTY CLERK'S RECORDS. LOCATED IN THE SW 1/4 OF SECTION 29 AND THE NW 1/4 OF THE SW 1/4 OF SECTION 29, T. 3 S., R. 9 W., W.M. "NO SPECIFIC LOCATION, SEE CL OF POWERLINE AS SHOWN HEREON."

EASEMENT FOR THE PURPOSE OF CONSTRUCT, OPERATE AND MAINTAIN TRANSMISSION LINES IN FAVOR OF TILLAMOOK PEOPLE'S UTILITY DISTRICT, RECORDED ON AUGUST 9, 1951, IN DEED BOOK 129, PAGE 226. TILLAMOOK COUNTY CLERK'S RECORDS. LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 29, T. 3 S., R. 9 W., W.M. "NO SPECIFIC LOCATION, SEE CL OF POWERLINE AS SHOWN HEREON."

14' WIDE ACCESS ROAD IN FAVOR OF UNITED STATES DEPARTMENT OF INTERIOR / BONNVILLE POWER ADMINISTRATION, RECORDED ON AUGUST 30, 1957 IN DEED BOOK 158, PAGE 511. TILLAMOOK COUNTY CLERK'S RECORDS. LOCATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 29, T. 3 S., R. 9 W., W.M. "DOES NOT AFFECT THIS PROPERTY."

14' WIDE ACCESS ROAD IN FAVOR OF UNITED STATES DEPARTMENT OF INTERIOR / BONNVILLE POWER ADMINISTRATION, RECORDED ON SEPTEMBER 27, 1957 IN DEED BOOK 159, PAGE 193. TILLAMOOK COUNTY CLERK'S RECORDS. LOCATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 29, T. 3 S., R. 9 W., W.M. "DOES NOT AFFECT THIS PROPERTY."

EASEMENT FOR THE PURPOSE OF MAINTAINING WATER PIPELINES IN FAVOR OF KEITH M. WOODS AND SHERYLYN WOODS, RECORDED ON APRIL 2, 1973 IN DEED BOOK 231, PAGE 390 AND IN FAVOR OF B.L. BECKER AND OLGA BECKER, RECORDED ON APRIL 5, 1973 IN DEED BOOK 231, PAGE 436. TILLAMOOK COUNTY CLERK'S RECORDS. DOES NOT AFFECT THIS PROPERTY.

10' WIDE WATERLINE AND MAINTENANCE EASEMENT IN FAVOR OF BEAVER WATER DISTRICT, RECORDED ON DECEMBER 6, 1982 IN DEED BOOK 294, PAGE 242. TILLAMOOK COUNTY CLERK'S RECORDS. DOES NOT AFFECT TO AFFECT THIS PROPERTY.

EASEMENT FOR THE PURPOSE OF OVERHEAD UNDERGROUND UTILITIES IN FAVOR OF TILLAMOOK COUNTY CLERK'S RECORDS. DOES NOT AFFECT TO AFFECT THIS PROPERTY.

COVENANTS, CONDITIONS AND RESTRICTIONS DESCRIBED IN INSTRUMENT #2001-42322, TILLAMOOK COUNTY CLERK'S RECORDS. DOES NOT AFFECT TO AFFECT THIS PROPERTY.

ACCESS & UTILITY EASEMENTS IN FAVOR OF THE SUBJECT TRACT AND OTHERS, RECORDED IN INSTRUMENTS #2001-4670, #2001-42322, #2021-0071 AND ALL EASEMENTS AS INDICATED ON PARTITION PLAT #2022-30, TILLAMOOK COUNTY CLERK'S RECORDS, AS SHOWN HEREON.

APPROVALS:

APPROVED JULY 28th, 2023 AS 851-21-000166-PL-NG.

Blah Blah

October 17, 2023

Blah Blah

November 15, 2023

NOTE: ALLOWANCE OF PARTITION PAYS NOT AVAILABLE

REGISTERED PROFESSIONAL LAND SURVEYOR

RENEWAL 12-31-2024
MICHAEL R. RICE
86926



RICE SURVEYING AND CONSULTING
P.O. BOX 521
TILLAMOOK, OREGON 97141
CELL: (503) 801-7901

SHEET 1 OF 2



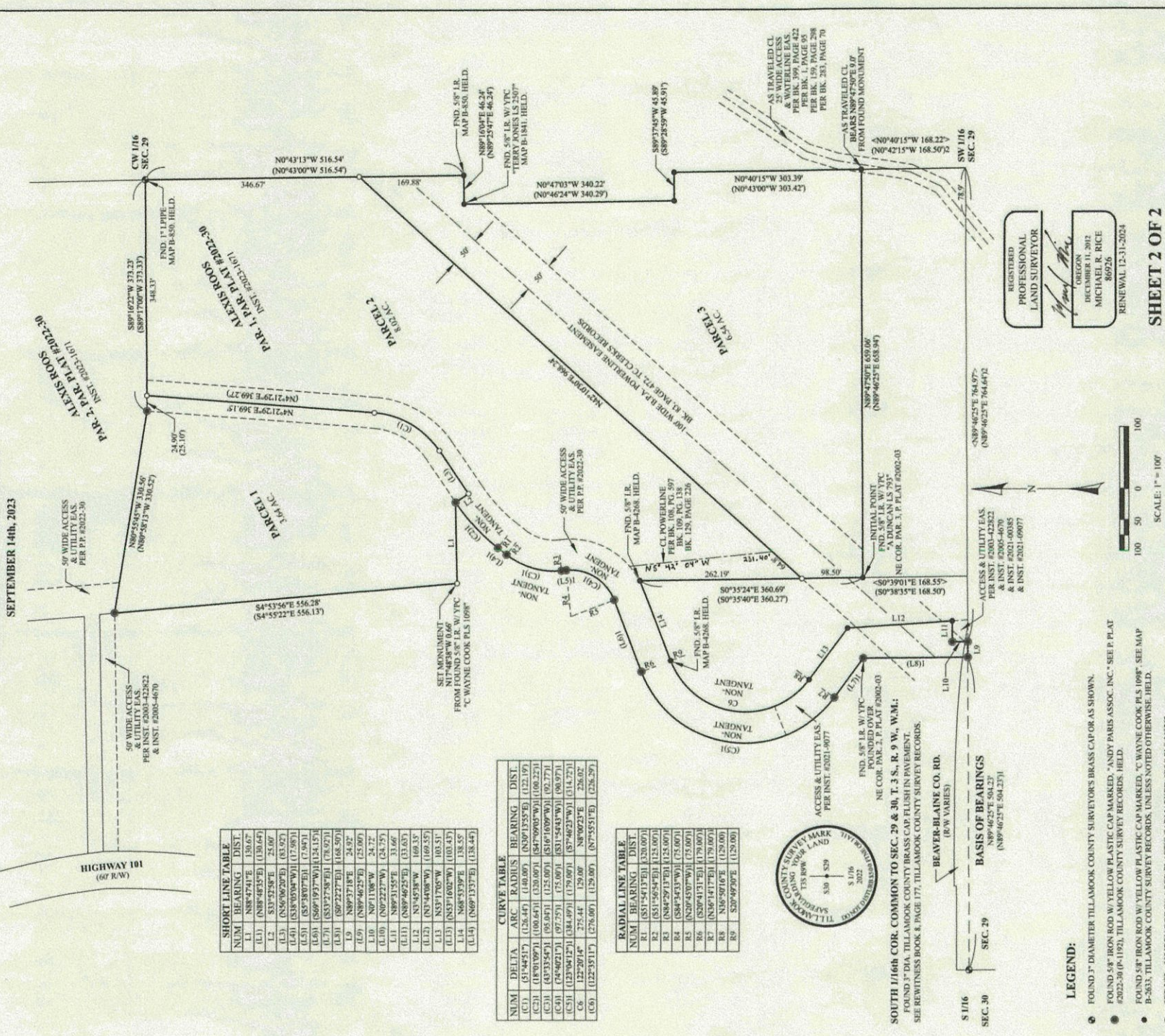
SURVEYOR'S CERTIFICATE:

THE BASIS OF BEARINGS FOR THIS PARTITION PLAT ARE BASED UPON THE FOUND MONUMENTS OF RECORD FROM THE SOUTH SIXTEENTH CORNER ON THE WEST LINE OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE 9 WEST. WILL ABUT THE MERIDIAN TO THE SOUTHWEST CORNER OF PARCEL 1, PARTITION PLAT #2022-30, TILLAMOOK COUNTY CLERK'S RECORDS AS SHOWN HEREON, BEING (N89°46'25") FILED ON PLAT P-659, TILLAMOOK COUNTY SURVEY RECORDS.

MICHAEL R. RICE, PLS. #6926

October 6th, 2023

PARTITION PLAT NO. 2023- 25
REPLAT OF PARCEL 1, PARTITION PLAT #2022-30
LOCATED IN THE NW 1/4 OF THE SW 1/4 AND THE
SW 1/4 OF THE NW 1/4 OF SECTION 29, T. 3 S., R. 9 W., W.M.
TILLAMOOK COUNTY, OREGON
 SEPTEMBER 14th, 2023



SHORT LINE TABLE

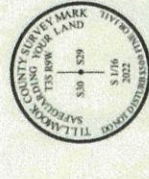
NUM	BEARING	DIST.	NUM	BEARING	DIST.
L1	N88°47'41"E	130.67	L11	N89°31'55"E	33.66
L2	S37°47'57"E	24.67	L12	N89°46'25"E	133.63
L3	N55°06'20"E	63.10	L13	N87°45'58"W	169.35
L4	S15°03'04"W	112.00	L14	N83°17'05"W	103.51
L5	S65°30'07"E	17.84	L15	N83°16'02"W	103.45
L6	S89°09'17"E	134.15	L16	N68°53'39"E	138.55
L7	S33°27'58"W	178.92	L17	N69°13'37"E	138.44
L8	S89°22'27"E	168.50			
L9	N89°37'18"E	24.02			
L10	N89°46'25"E	125.00			
L11	N07°11'08"W	24.72			
L12	N07°22'27"W	124.75			
L13	N89°31'55"E	33.66			
L14	N89°46'25"E	133.63			
L15	N87°45'58"W	169.35			
L16	N83°17'05"W	103.51			
L17	N83°16'02"W	103.45			
L18	N68°53'39"E	138.55			
L19	N69°13'37"E	138.44			

CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DIST.
(C1)	61°44'17"	78.41	75.00	S21°51'37"E	125.97
(C2)	149°10'59"	108.64	120.00	S24°00'00"W	168.22
(C3)	63°13'54"	105.04	125.00	S21°00'00"W	162.27
(C4)	24°40'21"	107.25	125.00	S31°54'43"W	160.97
(C5)	123°04'12"	134.40	170.00	S7°46'23"W	214.72
(C6)	122°20'14"	275.44	120.00	N8°00'23"E	236.02
(C0)	122°23'11"	1276.00	120.00	N7°55'51"E	1236.29

RADIAL LINE TABLE

NUM	BEARING	DIST.
R1	S51°54'37"E	130.00
R2	S51°56'54"E	125.00
R3	N84°29'13"E	125.00
R4	S84°34'37"W	125.00
R5	S20°45'09"W	75.00
R6	S20°41'31"E	170.00
R7	N36°14'17"E	170.00
R8	N35°50'16"E	120.00
R9	S20°49'30"E	120.00



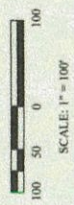
SOUTH 1/16th COR. COMMON TO SEC. 29 & 30, T. 3 S., R. 9 W., W.M.:
 FOUND 3" DIA. TILLAMOOK COUNTY BRASS CAP FLUSH IN PAVEMENT.
 SEE REWHITNESS BOOK 8, PAGE 177, TILLAMOOK COUNTY SURVEY RECORDS.

ACCESS & UTILITY EAS PER INST. #2021-0077
 FND. 58" I.R. W/ YPC
 NE COR. PAR. 2, P. PLAT #2002-03

ACCESS & UTILITY EAS PER INST. #2003-42822 & INST. #2005-4670 & INST. #2012-10315 & INST. #2017-49077
 50' WIDE ACCESS & UTILITY EAS PER P.P. #2022-30

- LEGEND:**
- FOUND 3" DIAMETER TILLAMOOK COUNTY SURVEYOR'S BRASS CAP OR AS SHOWN.
 - FOUND 58" IRON ROD W/ YELLOW PLASTIC CAP MARKED "ANDY PARIS ASSOC. INC." SEE P. PLAT #2022-30 (P. 1192), TILLAMOOK COUNTY SURVEY RECORDS.
 - FOUND 58" IRON ROD W/ YELLOW PLASTIC CAP MARKED "C WAYNE COOK PLS 1098" SEE MAP B-363A, TILLAMOOK COUNTY SURVEY RECORDS, UNLESS NOTED OTHERWISE HELD.
 - SET 58" x .36" IRON ROD W/ A RED PLASTIC CAP MARKED "RSC PLS #6926".
 - () RECORD PER P. PLAT #2022-30 (P. 1192), TILLAMOOK COUNTY SURVEY RECORDS.
 - (1) RECORD PER P. PLAT #2023-02 (P. 1197), TILLAMOOK COUNTY SURVEY RECORDS.
 - (2) RECORD PER MAP B-363, TILLAMOOK COUNTY SURVEY RECORDS.
- NO () EQUALS MEASURED VALUE. <-> EQUALS CALCULATED VALUE MEASURED EQUALS TILLAMOOK COUNTY SURVEY RECORDS UNLESS OTHERWISE NOTED.

REGISTERED PROFESSIONAL LAND SURVEYOR
 MICHAEL R. RICE
 86926
 RENEWAL 12-31-2024



RSC
RICE SURVEYING AND CONSULTING
 P.O. BOX 521
 TILLAMOOK, OREGON 97141
 CELL: (503) 801-7901



PARTITION PLAT FOR:
ALEXIS ROOS
 LANDS DESCRIBED IN NW 1/4 OF THE SW 1/4 AND THE SW 1/4 OF THE NW 1/4 OF SECTION 29, T. 3 S., R. 9 W., W.M. PARCEL 1, PARTITION PLAT #2022-30 INSTRUMENT #2023-1671, TILLAMOOK COUNTY DEED RECORDS

SHEET 2 OF 2

EXHIBIT C



Wetland Land Use Notice Response



Response Page

Department of State Lands (DSL) WN#*
WN2024-0429

Responsible Jurisdiction

Staff Contact
Angela Rimoldi
Jurisdiction Type
County
Municipality
Tillamook

Local case file #
851-24-000277 & 278-PLNG
County
Tillamook

Activity Location

Township
03S
Range
09W
Section
29
QQ section
CB
Tax Lot(s)
700,705

Street Address

Famam St

Address Line 2

City

Beaver

Postal / Zip Code

State / Province / Region

OR

Country

Tillamook

Latitude

45.279483

Longitude

-123.821184

Wetland/Waterway/Other Water Features

It is unlikely that there are jurisdictional wetlands or waterways on the property based upon a review of wetland maps, the county soil survey and other available information.

Your Activity

A state permit will not be required for the proposed project because, based on the submitted site plan, the project avoids impacts to jurisdictional wetlands, waterways, or other waters.

DSL Review

Wetland Ecologist Comments

Based on available information, the subject site does not have mapped wetlands or waters. No ground disturbance is proposed with these partitions. A state Removal-Fill permit is not likely required for this activity.

This is a preliminary jurisdictional determination and is advisory only.

This report is for the State Removal-Fill law only. City or County permits may be required for the proposed activity.

Contact Information

- For information on permitting, use of a state-owned water, wetland determination or delineation report requirements please contact the respective DSL Aquatic Resource, Proprietary or Jurisdiction Coordinator for the site county. The current list is found at: <http://www.oregon.gov/dsl/ww/pages/wwstaff.aspx>
- The current Removal-Fill permit and/or Wetland Delineation report fee schedule is found at: <https://www.oregon.gov/dsl/WW/Documents/Removal-FillFees.pdf>

Response Date

7/12/2024

Response by:

Jessica Saigado

Response Phone:

541-408-1892